

CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
WEDNESDAY, NOVEMBER 12, 2014
CITY HALL COUNCIL CHAMBERS

MEETING AGENDA

SPECIAL MEETING (Moved From Tuesday due to Veteran's Day Holiday): 12:00 P.M. (Noon)

1. Call to Order by Chair Justin Lundvall
2. Roll Call, excused members
3. Pledge of Allegiance
4. Approval of Agenda
5. Approval of Minutes of the October 28, 2014 – Regular Meeting.
6. **NEW BUSINESS:**
 - A. Public Hearing: Special Exemption request to reduce front setback requirement at 1050 Park Avenue.
 - B. Special Exemption review: Reduce front setback requirement to approx. 14 feet to allow addition in line with front of existing house. 1050 Park Avenue.
 - C. Public Hearing: Greenwing Addition Plat Amendment. Request to remove 20-foot buffer limitations.
 - D. Plat Amendment: Greenwing Addition buffer. Request to remove or modify buffer limitations, 310 Robert Street.
 - E. Public Hearing: Rezone request for 4.0 acres located south of Cougar Avenue and immediately east of Shadow Mountain Subdivision to Residential “B” zone (multi-family).
 - F. Rezone review: Consider and develop recommendation for rezone request from Ed Higbie for 4.0 acres located south of Cougar Avenue and east of Shadow Mountain Subdivision to Residential “B”.
 - G. Architectural and Sign Review: Burger King remodel, 1902 Mountain View Drive.
7. **APPROVED SIGN APPLICATIONS:**
 - A.
8. P&Z Board Matters (announcements, comments, etc.)
9. Council Update: Steve Miller
10. Staff Items:
11. Adjourn

The public is invited to attend all Planning, Zoning and Adjustment Board meetings. If you need special accommodations to participate in the meeting, please call the City office at (307) 527-7511 at least 24 hours in advance of the meeting.

City of Cody
Planning, Zoning and Adjustment Board
Tuesday, October 28, 2014

A regular meeting of the Cody Planning, Zoning and Adjustment Board was held in the Council Chambers of City Hall in Cody, Wyoming on Tuesday, October 28, 2014 at 12:00 PM

Present: Justin Lundvall-Chairperson; Robert Senitte; Buzzy Hassrick; Kim Borer; Brad Payne; Mark Musser; Justin Ness; Sandra Kitchen, Deputy City Attorney; Steve Miller, Council Liaison; Todd Stowell, City Planner; Lynn Stutzman, Engineering Administrative Assistant.

Absent: None.

Chairperson Justin Lundvall called the meeting to order at 12:00 PM, followed by the pledge of allegiance.

Buzzy Hassrick made a motion, seconded by Kim Borer, to approve the agenda. Vote on the motion was unanimous, motion carried.

Kim Borer made a motion, seconded by Buzzy Hassrick, to approve the minutes for the October 14, 2014 special meeting. Vote on the motion was unanimous, motion carried.

Justin Ness made a motion, seconded by Mark Musser, to approve the minutes for the October 14, 2014 meeting with the corrections noted. Vote on the motion was unanimous, motion carried.

NEW BUSINESS:

Todd Stowell presented the staff report for a site plan review of the Whitlock Motors building located at 2825 Big Horn Avenue.

Brad Payne made a motion, seconded by Robert Senitte, to approve the site plan of the Whitlock Motors building located at 2825 Big Horn Avenue as presented with the following conditions:

1. A stop sign is to be installed at the exit, in accordance with City standards.
2. Provide corrected utility details on the plan set that will be submitted with the building permit. The details are to be per the utility provider's requirements. Include a reduced pressure principle backflow preventer on the water line.
3. The light poles are limited to 32 feet above grade.
4. Provide an update to the storm water inlet detail, which shows a type of pipe approved by the city and WYDOT. An encroachment permit for the work must be obtained prior to installation.
5. Add the "Van Accessible" sign to the ADA parking sign.
6. Applicable city utility fees (water, sewer, power) are to be paid prior to building permit issuance.
7. The project must otherwise comply with the site plan and applicable building, fire, and electrical codes.

8. The storm water facilities are to be inspected and certified by the applicant's engineer that they were completed according to approved plans, prior to issuance of a certificate of occupancy.
9. Concrete collars are to be placed around the clean outs.

Vote on the motion was unanimous, motion carried.

Todd Stowell presented the staff report for a site plan review for the Autozone building located at 610 Yellowstone Avenue.

Kim Borer made a motion, seconded by Buzzy Hassrick, to approve the site plan review for the Autozone building located at 610 Yellowstone Avenue as presented with the following conditions:

1. A stop sign is to be installed at the exit, in accordance with City standards.
2. Address the storm water concerns noted in the staff report (point discharge and erosion hazard), and provide details to correct those issues on the plan set that will be submitted with the building permit.
3. Provide an approved barrier along the grassy area next to the Stick Shift Motors entrance.
4. Obtain the necessary encroachment permit from WYDOT for the landscaping within the WYDOT right-of-way.
5. Obtain a permit from WYDOT for the widening of the approach. The approach is to be constructed to ADA standards, including the truncated dome warning pads.
6. The ADA entrance to the building needs a detectable warning mat where the unloading zone meets the sidewalk.
7. Provide the engineer's wind loading calculations for the freestanding sign with the building permit application.
8. Cleanouts are to be provided at the 90-degree bends of the sewer line. Also, the cleanouts in the driving areas are to be protected with concrete collars.
9. Applicable city utility fees (power, etc.) are to be paid prior to building permit issuance.
10. The project must otherwise comply with the site plan and applicable building, fire, and electrical codes.
11. The drainage facilities are to be inspected and certified by the applicant's engineer that they were completed according to approved plans, prior to issuance of a certificate of occupancy.
12. Additional landscaping on the east side including trees to shield the dumpster area. Large rocks or shrubs in the northwest corner area and low lying shrubs they would like to enhance with.
13. Dumpsters will be located at the back of the lot.
14. Wall pack light fixtures to be full-cut off style.
15. Use some split face block to provide variety.

Vote on the motion was unanimous, motion carried.

Todd Stowell presented the staff report for site plan review for the FedEx Ground Facility located at 33rd Street. Brian Edwards of Holm, Blough Co. as representative of the applicant, Ruedebush Development and Construction, provided additional information.

Kim Borer made a motion, seconded by Buzzy Hassrick, to approve the site plan review for the FedEx Ground Facility located at 33rd Street subject to the following conditions. Vote on the motion was unanimous, motion carried.

1. Provide updated plans for submittal with the building permit addressing all of the following applicable items, and coordinated with the architectural and landscaping plans.
2. Update the landscaping plan by shifting all trees outside of the city utility easement (based on size at maturity), and out of the bottom of the drainage swale/area. Also note the height of the wrought iron ornamental fence (6 feet maximum) and the irrigation plan (pump, storage, sleeves under pavement, etc. as needed). Minimum height of the trees at planting is 8 feet above ground level.
3. The final utility plans are subject to review and approval by the Public Works Department. In addition the water and sewer main extensions require WY DEQ approval prior to construction.
4. Coordinate access to the site for garbage collection, and the dumpster location(s) with the sanitation division. They require access without relying on others (e.g. keycard).
5. Coordinate emergency response access to the site with the fire marshal. Again, a key card or other easy method of entry is needed.
6. Provide the lip along the west side of the asphalt, as requested by the city engineer.
7. Provide for pedestrian ADA access across the road approaches (slope sidewalks/curbing and install detectible warning pads, etc.). Submit details for review prior to construction.
8. Shift the three light poles on the west side of the property away from the property line at least a few feet. Limit the height of proposed poles to 33'.
9. Applicable city utility fees (power, etc.) are to be paid prior to building permit issuance.
10. All site lighting must be full cut-off style.
11. The project must otherwise comply with the most recent plans and applicable building, fire, and electrical codes.
12. The drainage facilities are to be inspected and certified by the applicant's engineer that they were completed according to approved plans, prior to issuance of a certificate of occupancy.
13. If landscaping cannot be installed prior to occupancy due to weather, a financial security with conditions acceptable to the city may be provided to delay installation until favorable weather conditions exist.
14. Architectural exterior of the building is to include 25% of masonry features and change overhead door color to be more compatible with the colors of the building.

Approved Signs by Staff: Thrivent Financial located at 205 Trail Avenue; Canyon Therapy located at 544 Yellowstone Avenue; Willow Creek Apartments located at 2730 Cougar Avenue.

P&Z Board Matters: None

Council Update: None

Staff Items: None

Kim Borer made a motion, seconded by Buzzy Hassrick, to adjourn the meeting. Vote on the motion was unanimous, motion carried.

There being no further business to come before the board, Chairperson Justin Lundvall adjourned the meeting at 2:40 PM.

Lynn Stutzman
Engineering Administrative Assistant

DRAFT

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	NOVEMBER 12, 2014	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	SPECIAL EXEMPTION PUBLIC HEARING: REDUCE THE FRONT SETBACK REQUIREMENT FOR 1050 PARK AVENUE. SUP 2014-08	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

H.R. Coe, as property owner, has submitted a Special Exemption application requesting a reduction in the front building setback requirement in order to construct an addition to his home at 1050 Park Avenue.

The property is within the Residential "A" zoning district, which requires a 25-foot front building setback. The existing residence is approximately 14 feet from the front property line. The proposed addition is in line with the existing house, and therefore would be approximately 14 feet from the front property line, requiring an 11-foot reduction in the setback requirement.

Existing Conditions:



The public hearing for the request was advertised as required by certified mail to neighboring properties within 140 feet, and by publication in the newspaper.

REVIEW CRITERIA:

Pursuant to Section 10-14-2(B) of the City of Cody Code, the Planning and Zoning Board may consider special exemptions to setback and yard requirements. The

standards for approval of a special exemption are as follows, with staff comments provided.

No special exemption shall be approved unless the planning and zoning board finds:

- a. The special exemption will not produce an undesirable change in the character of the neighborhood or a detriment to nearby properties;*

Staff Comment: Twelve neighboring property owners were notified of the proposal and at the time of this staff report no letters of objection have been received. Three letters of support were received. The favorable responses are interpreted as evidence that there is no undesirable change or detriment to neighboring properties from this proposal.

In addition, it is noted that the neighboring few houses to the south are set back similarly from Park Avenue, likely due to the narrowness of the lots created by the hillside behind the homes.

- b. The special exemption is designed to be compatible with adjacent land uses and the area or neighborhood;*

Staff Comment: Granting the special exemption request is not expected to create any significant compatibility issues. The addition constitutes an expansion of a permitted use, so compatibility of use is not a concern.

The addition is two stories in height, while the existing house is single story. However, the combination of the reduced setback and additional height does not result in any excessive shadowing of neighboring property or significant impacts to neighbor views, due to the location of the addition in relation to existing topography, buildings, and solar access.

- c. The special exemption is the minimum deviation from the specifications of the zoning ordinance necessary and adequate for the proposed activity, structure or use;*

Staff Comment: The addition is proposed to be in alignment with the front and back of the existing house. In determining whether it is the minimum deviation or not, staff looked at whether the applicant could cut down the room sizes, or push the addition back. Pushing the addition back would eliminate what little back yard exists behind the addition, and is very limited by the hillside behind the house. Cutting down room size is not really an option, as the garage is proposed at a standard depth of 24 feet, and the living room behind is proposed at 13 ½ feet wide. Meeting the setback would effectively require complete removal of a room from the main floor plans.

- d. The benefit sought by the applicant cannot be achieved by some other method, feasible for the applicant to pursue other than a special exemption;*

Staff Comment: No other feasible options have been identified that would achieve the requested result. Relocating the addition to the other side of the house would not help, as the same area limitations and setbacks exist. Relocating the addition to the back of the house would use up the back yard and likely conflict with required egress windows.

- e. Adequate services and infrastructure are or will be available to serve the proposed activity, structure or use;*

Staff Comment: No additional services are proposed or needed that do not already exist at the house.

- f. The special exemption is consistent with the goals, policies and future land use map of the master plan.*

Staff Comment: The future land use map designation for this area is "low-density residential", which is consistent with the continued residential use of the property. There are no identified goals specific to the setback situation, other than general statements such as "protect the existing character in stable residential areas" which fits into items 'a' and 'b' above. It is also noted that the street width is not planned to be widened and the addition will be approximately 26 feet behind the curb line. In other words, it will have the appearance of having a greater front setback than it technically has.

ALTERNATIVES:

Approve, deny or approve with conditions.

ATTACHMENTS:

Site Plan, Main Floor Plan, and Draft Permit.

RECOMMENDATION:

That the Planning and Zoning Board make the following findings:
(Draft, subject to information received at public hearing.)

1. That proper notice of the special exemption public hearing was provided by advertising in the Cody Enterprise and by certified mail to all property owners within 140 feet at least ten days before the hearing.
2. That the Planning and Zoning Board may grant special exemptions that are reasonable and harmless deviations from the zoning ordinance as determined by the standards outlined in Section 10-14-2, City of Cody Code.
3. That the Planning and Zoning Board has held a public hearing as required and has considered all comments pertaining to the request; and,

4. That the points identified in the staff report and at the Board meeting are adequate to set forth the reasoning why the criteria of 10-14-2(B)(2) are met.

AND,

Approve the Special Exemption request for the reduced front setback of approximately 14 feet, to allow construction of the addition to be in line with the front of the existing house.

NOTE: If approved, the applicant will need to complete and record the special exemption permit at the County Clerk's office within 10 days. The draft permit is attached.



CITY OF CODY
WYOMING

Nancy Tia Brown
MAYOR

Donny Anderson
Bryan Edwards
Jerry Fritz
Landon Greer
Steve Miller
Stan Wolz
COUNCIL MEMBERS

C. Edward Webster II
MUNICIPAL JUDGE

Barry Cook
CITY ADMINISTRATOR

1338 Rumsey Avenue
P.O. Box 2200
Cody, Wyoming 82414

(307) 527-7511
FAX (307) 527-6532

Park County Court House
County Clerk
1002 Sheridan Avenue
Cody, WY 82414

Special Exemption Permit

On November 12, 2014 the City Planning, Zoning and Adjustment Board granted a Special Exemption Permit pursuant to City of Cody Code 10-14-2 for the following property:

Applicant/Owner Name: H.R. Coe
Project Address: 1050 Park Avenue, Cody, WY
Legal Description: Lot 1, Lot 2, and the East ½ of Lot 3, Canyon View
Subdivision; Except that portion deeded to City of Cody
February 4, 1986, by document 0239 CONV 00996.

Description of Special Exemption Permit:
A Special Exemption to reduce the front yard setback requirement from 25 feet to
approximately 14 feet to allow construction of an addition in line with the front of the
existing residence.

Duration of Special Exemption Permit:
Authorization for the Special Exemption will run with the property, provided construction
of the addition commences within one year.

H.R. Coe, owner

State of Wyoming

SS

County of Park

The foregoing instrument was acknowledged before me by _____
this _____ day of November, 2014

Witness my hand and official seal.

Notary Public

My commission expires _____

(Planning & Zoning Chairperson)
State of Wyoming

SS

County of Park

The foregoing instrument was acknowledged before me by _____
this _____ day of November, 2014

Witness my hand and official seal.

Notary Public

My commission expires _____

28' H

F-25'
int-5'
side-15'
cornerlot-15'

Site Plan
Coe Residence
1050 Park Ave.

11th Street

property stake

proposed New Fence

Proposed Addition

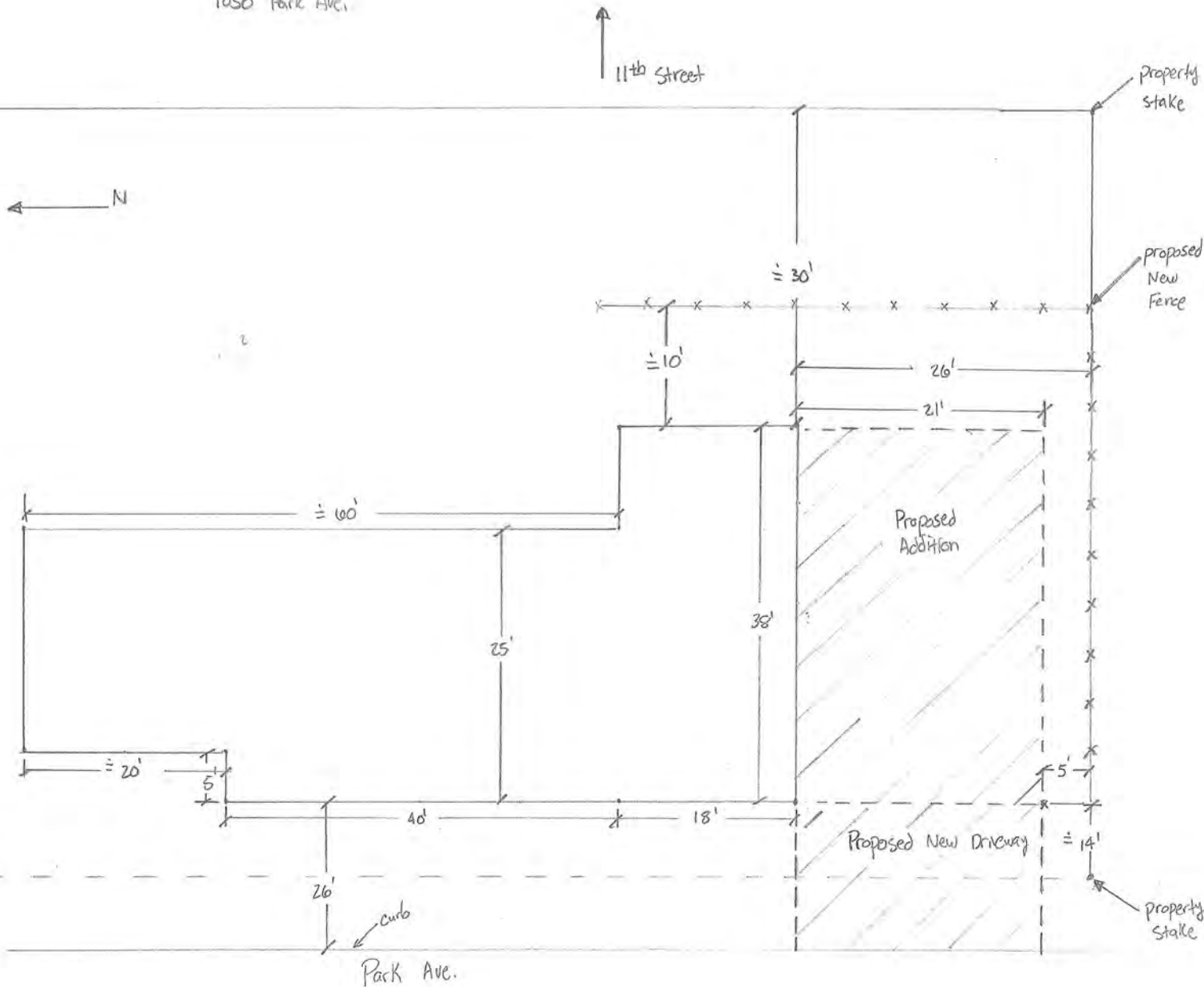
Proposed New Driveway

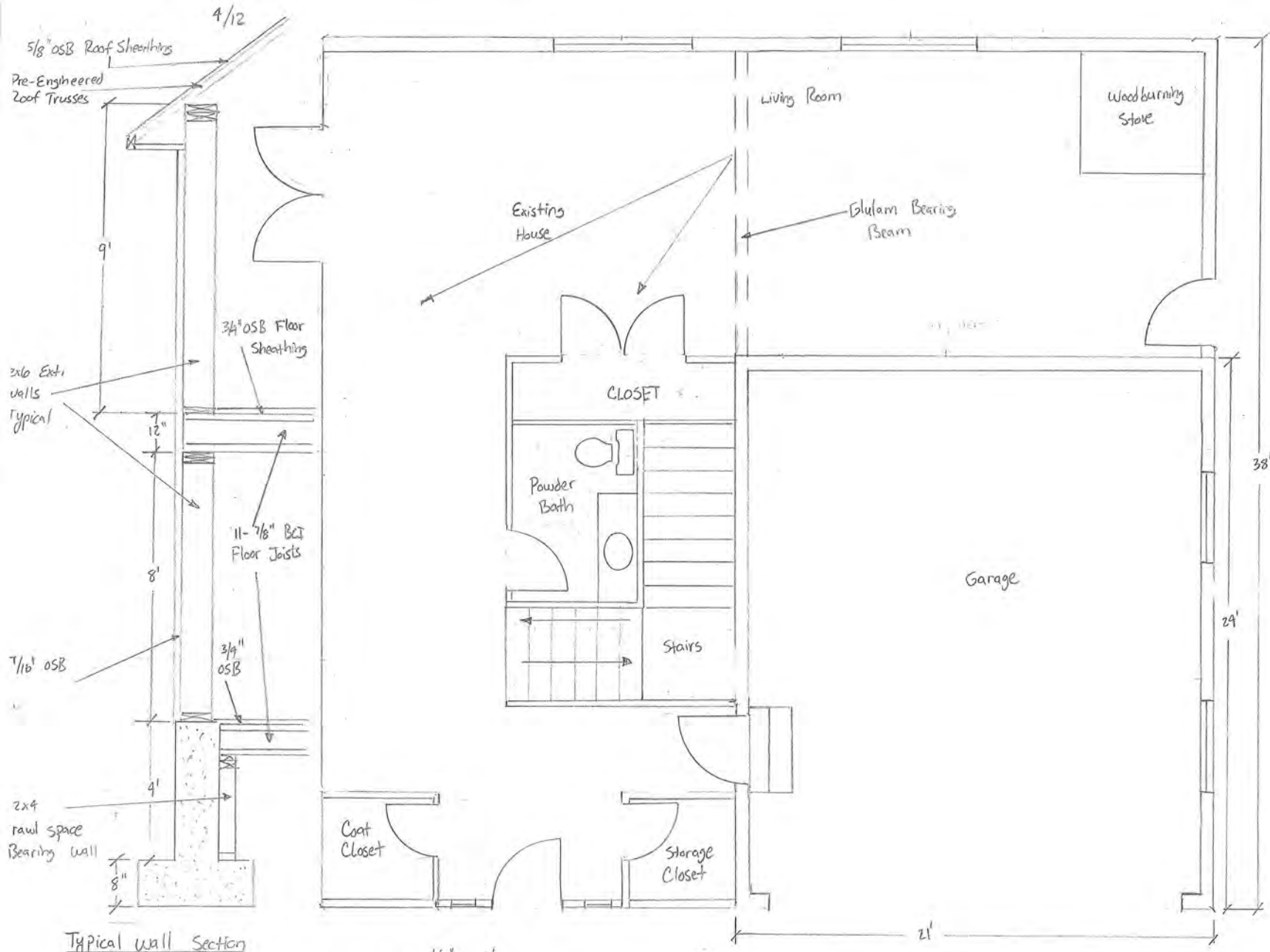
property stake

property line

* Not to Scale

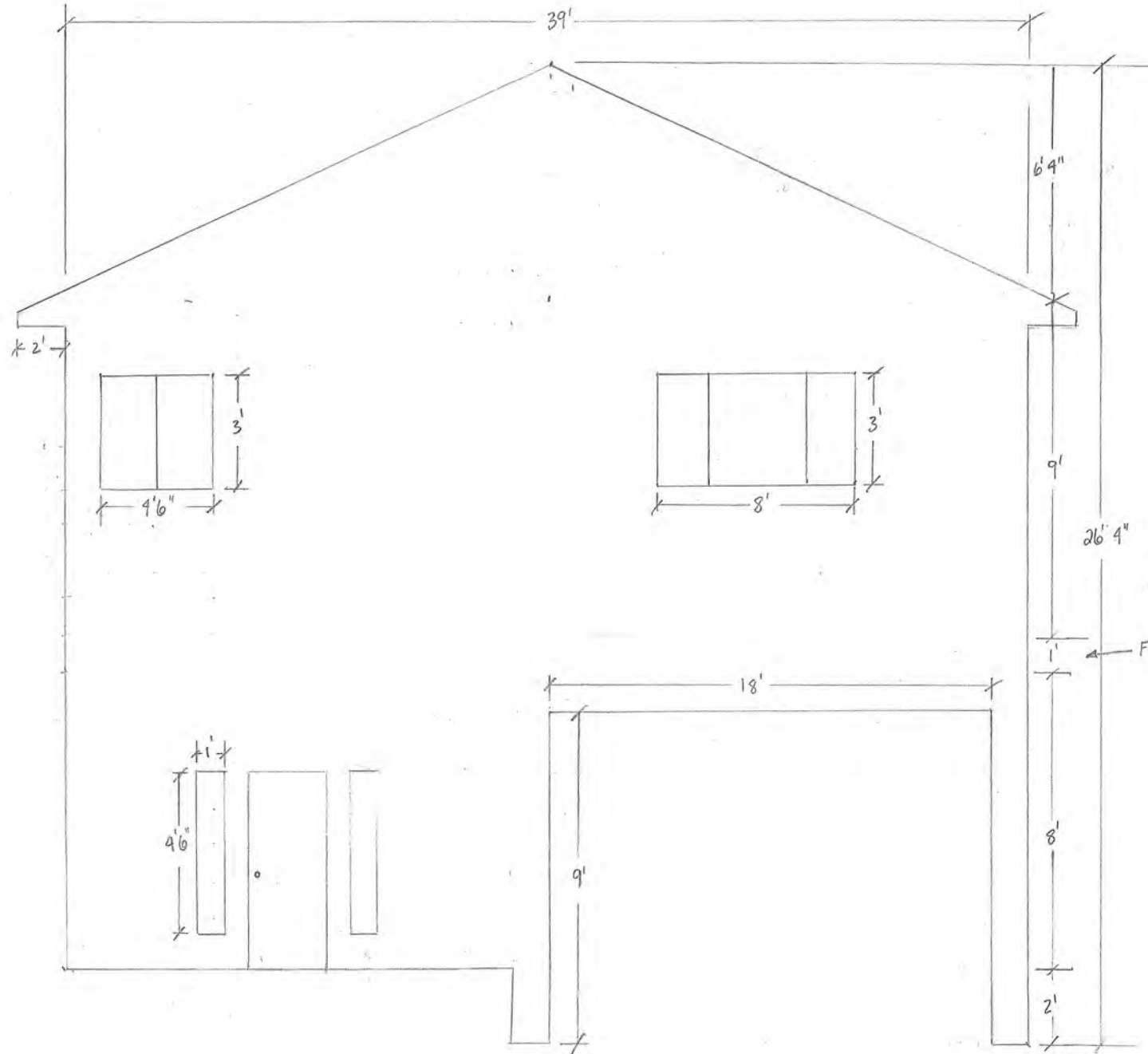
Park Ave.





Main Floor Plan
Coe Residence
1050 Park Ave.

scale: 1/4" = 1'



West Elevation
Coe Residence
1050 Park Ave.

Horizontal scale: $\frac{1}{4}" = 1'$
Vertical: $\frac{3}{8}" = 1'$

Floor Joists

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	NOVEMBER 12, 2014	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	
SUBJECT:	REQUEST TO AMEND THE PLAT OF GREENWING ADDITION TO REMOVE OR MODIFY THE BUFFER REQUIREMENT SUB 2014-03	RECOMMENDATION TO COUNCIL:	X
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

OVERVIEW

Long Range Investments, LLC, as owner of Lot 15 of the Amended Greenwing Addition subdivision, has submitted a plat amendment application to remove or modify Note 7 on the amended final plat as it pertains to Lot 15. The note states "*No structures, future grading, or changes to drainage allowed within buffer limits*". The final plat shows the buffer as a 20-foot wide strip along the north side of Lots 13, 14, and 15. A copy of the map is attached.

Existing Conditions:



The property was approved for the development of a secure mini-storage complex at the September 23, 2014 Planning and Zoning Board meeting. Please see the attached letter that the applicant's representative Holm, Blough and Company sent to the neighbors to describe their intent if the buffer is removed.

As noted in the letter, there are really two requests. The first is whether the buffer requirement could be eliminated in its entirety from Lot 15, thereby allowing

development in accordance with the zoning for the lot. If that option is not granted, the second request would be to allow the berm to be removed and the area used for non-building purposes such as a driveway, parking or open storage.

The buffer/berm appears to have been placed on the property entirely as a voluntary action by the original developer, Curtis Ryan. It was noted as part of his presentation to the City Council in January 2007 for rezoning the property from Residential B to D-3. At the council meeting staff explained that the buffer was not a requirement of the zoning code, but it would allow the developer additional separation between the residential and future commercial development. The developer explained his intent to install a berm, trees, "or something" in the buffer area, although only the berm has ever been installed. The discussion seemed to indicate that it was primarily to ensure separation between uses, and secondarily for landscaping purposes. The developer pointed out that he controlled the adjacent property and therefore he had a self-interest to ensure compatibility between any commercial development and his residential subdivision.

STAFF COMMENTS:

It is noted that the private covenants (CC&Rs) for the Greenwing and Upland Addition subdivisions do not address the buffer/berm. This means that the plat amendment process is the only procedure that really applies to the request.

The berm, if ever intended for drainage control, will have no drainage related purpose once the mini-storage complex is developed, as the mini-storage complex will include an on-site storm water retention system consisting of infiltration trenches.

Admittedly, mini-storage is one of the least intensive of the commercial uses, and based on that the applicant apparently believes the buffer and berm are not necessary. If a much more intensive commercial or industrial use were contemplated for the property, I could see where the buffer and berm could be used to create an intensively landscaped area to visually buffer the development. However, the mini-storage proposal does not have the characteristic impacts of an active commercial or light industrial area, such as noise, dust, odors, tall buildings and lighting, etc.

In many ways, the request is similar to a variance or special exemption, based on the specific circumstances of the proposal. This being the case, staff recommends that any amendment to the restriction should also be based on the specific circumstances. In other words, if the Board is to waive all or part of the buffer/berm requirement, it should be limited to the circumstance of the property being used as a mini-storage site, with the building heights as proposed (9' 2").

RECOMMENDATION:

Due to the lack of comments received from the adjacent property owners nearest the buffer, and without the benefit of the public hearing, staff is not providing a

recommendation on the plat amendment at this time. However, some possible alternative recommendations to the City Council could include:

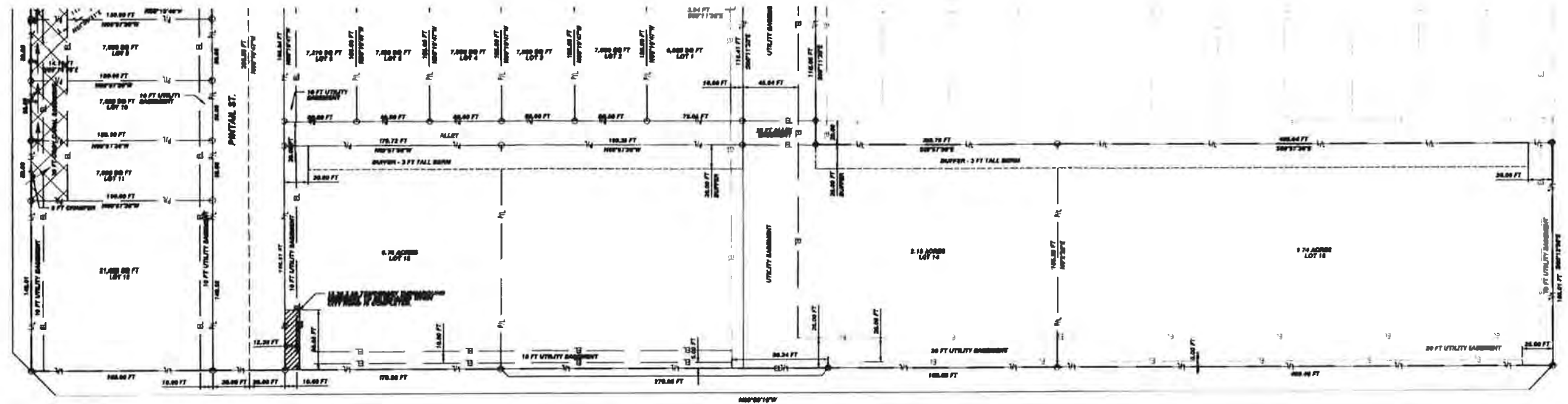
- 1) Denial of the request.
- 2) Modification of the buffer/berm requirement by reducing the required width, perhaps in consideration of installing trees in the buffer area.
- 3) Approval to remove the berm across Lot 15, but require that the buffer remain in place for any buildings, and for any open storage taller than six(?) feet in height.
- 4) Approval to remove the berm and buffer limitations across Lot 15.

In the case of alternatives 2, 3, and 4 staff would recommend that the approval be conditioned on a six-foot tall solid fence being maintained along the north property line, and a limitation that the waiver of the berm and buffer requirement only be in effect so long as the site is utilized for mini-storage with no buildings taller than 9'2". A fifth alternative would be to recommend approval to remove the berm and buffer limitation across Lot 15, with no specified restrictions. In this scenario, any buffer needed in the future would rely on the review authority and buffer requirements in place at that time, if any.

As of the time of this staff report, three comments against and eleven for the request have been received. We will provide a map at the meeting of which property owners oppose and which do not. Thus far, none of the immediately adjoining neighbors to the north have provided comments.

ATTACHMENTS:

Greenwing plat drawing.
Letter to neighbors.
Comments received to date.



NOTES

- Bearing Base = N 00° 19' 41" W along the west line of W1/2 SE1/4 SE1/4, T20N40E.
- Adjacent Zoning is B, D-3 and F2.
- Corners to be set after construction is complete.
- All survey work was completed to an accuracy of 1:15,000.
- A combination of cash in lieu and open space to be provided.
- Lot 7 to be donated to the City of Cody.
- No structures, future grading or changes to drainage allowed within buffer limits.
- Roads in gray scale are existing.
- Construction or landscaping improvements prohibited within the Cody Canal easement.
- Plot is approved with the following variances:
 - No curb and gutter on Robert St.
 - Cody Canal is to remain open.
 - No alley is proposed for lots 8-12.
- The said owners, indicated below, have submitted ratification and joinder documents to accompany the amended plat, and are recorded in document number(s)
 - Lot 12, Park County Fire District #2 Jee-7-1693
 - Lot 17, Takahashi Inter-Vivos Trust, Dated December-8, 1999 A-7-9694

LEGEND

GREENWING BOUNDARY	---	---
PROPOSED LOT LINES	---	---
PROPOSED EASEMENT LINES	---	---
CODY CANAL	---	---
BUFFER LIMIT	---	---
ROAD CENTERLINE	---	---
SET ALUMINUM CAP	○	
STREET MONUMENT	○	
FOUND IRON PIPE	●	
FOUND ALUMINUM CAP	●	
CODY CANAL EASEMENT	---	---

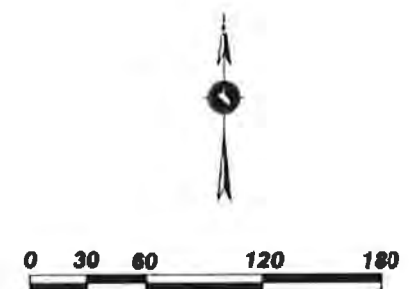
APPROVALS

STATE OF WYOMING)
 COUNTY OF PARK)
 City Planning and Zoning Board
 Recommended for approval this 11th day of DECEMBER, 2007
 by the City Planning and Zoning Board of Cody, Wyoming.

By Chairman *[Signature]*
 Glenn W. Nelson

Approved this 10th day of DECEMBER 2007 by
 the City Council of Cody, Wyoming.

By Mayor *[Signature]*
 Attested by City Clerk Treasurer *[Signature]*
 JAMES R. ROYCE
 City Clerk





Roy Holm, PE & LS
Paul Blough, LS

HOLM, BLOUGH and COMPANY

CONSULTING ENGINEERS AND LAND SURVEYORS

1402 Stampede Avenue, Cody, WY 82414

P 307.587.6281 F 307.587.6282

www.hbco.us office@hbco.us

October 13, 2014

Job No.: 2014-159

«AddressBlock»

Re: Lot 15 Greenwing Addition, Buffer Restriction Relief Request

«GreetingLine»

Duncan Bonine of DBW Construction and the owners of Lot 15 of the Greenwing Addition (“developers”) will be constructing a series of secure storage units as shown on the attached site plan, as already approved by the City of Cody. The development will be fenced with a 6 foot tall vinyl privacy fence on the east, north, and west boundaries of the lot, buildings are designed to match the neighborhood architecture, and are low-profile with a maximum roof height of only 9’1½” at the highest point. The developers have been working diligently to ensure your homes are minimally impacted by this development.

As you are probably aware, along the north side of Lot 15 there is a 20 foot wide buffer that includes an existing 3± foot tall dirt berm. According to note number 7 on the amended final plat of the Greenwing Addition “no structures, future grading or changes to drainage [are] allowed within buffer limits.” The developers would like some relief from this restriction and have been working closely with the City of Cody to ensure equitable treatment of all parties. Two options the developers are asking the City to consider are as follows:

OPTION 1: Remove the restriction in its entirety—allow removal of the 3 foot tall dirt berm and allow use of the buffer area (including structures) with no changes in drainage.

How would this option impact you?

- The current development plans would not change except that the dirt berm would be removed, the area could be graveled for use as parking and access, and the property re-graded such that on-site storm water still would drain away from your property.
- The 6 foot tall vinyl privacy fence would still be installed on the east, north, and west boundaries of Lot 15.
- In the future, there is the potential that another set of storage units, similar in design (including height) to those currently proposed, could be built in this area if consumer demand exists.

OR

OPTION 2: Modify the restriction to allow removal of the 3 foot tall dirt berm and allow the buffer area to be used for parking, driving, etc., while still prohibiting structures within the buffer area and no changes in drainage.

How would this option impact you?

- The current development plans would not change except that the dirt berm would be removed, the area graveled for use as parking and access, and graded such that on-site storm water still would drain away from your property.
- The 6 foot tall vinyl privacy fence would still be installed on the east, north, and west boundaries of Lot 15.

The City of Cody will schedule a public hearing for anyone to voice their opinions and concerns regarding this matter. Please attend the meeting if you are able and let Todd Stowell with the City of Cody know of any comments you may have. He can be reached as follows:

Todd Stowell, AICP
City Planner
1338 Rumsey Avenue
P.O. Box 2200
Cody, WY 82414
307.527.7511

Sincerely Yours,

Roy R. Holm

Roy R. Holm, for
Holm, Blough & Company

RRH/oms
Enclosure

S:\JOBS\2014\14-159\Communication\2014-10-13 Letter to Neighbors, Re Buffer Restriction.docx

November 3, 2014

Mr. Todd Stowell, AICP
City Planner
1338 Rumsey Avenue
P. O. Box 2200
Cody, Wy 82414

Dear Mr. Stowell,

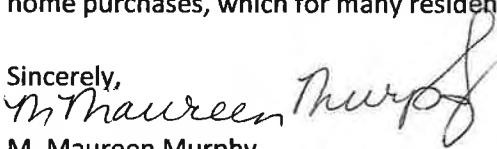
I wish to herewith submit my objections for any changes to Lot 1 Greenwing Addition, Relief Request. I am aware that this has already been approved but nevertheless have concerns about Planning and Zoning *changes that affect residents*. *Will the current trend to put storage sheds wherever builders want continue, with no concern for homes already built and occupied. P&Z would not put storage sheds where older homes are established. Is there no concern for those who have bought in a residential area, Thinking a "residential area" mean "residential"?*

I have a "Certificate of Occupancy" from the City of Cody, Division of Building Inspection, dated January 3, 2008 indicating my residence is a "single family dwelling, Group R-3 "B" Residential. Now I realize that zoning and planning may and do change areas at a "whim", because some builder wants a change and there is no concern about previous zoning or current residents.

1. Note 7. "No structures, future grading or changes to drainage allowed within the buffer zone".
2. What does "area for future RV parking mean? A six foot fence does not "hide" RVs, particularly if you happen to live in a three-story unit at Heart Mountain Condo (also approved by P&Z). Will the RV "storage" be used for new or old units...when will this be changed to occupancy at a whim of P&Z?
3. *Are 23 lights necessary? This is supposed to be a residential area—do people not sleep in a residence?*
4. What does "other units will be constructed" if the need arises? Will these be in a commercial area or within what is now described as "residential"?

I would hope that Cody would someday have a "master plan" upon which residents could depend when making home purchases, which for many residents are a major investment in their lives.

Sincerely,


M. Maureen Murphy
2955 Kent Avenue
Cody, WY 82414

THE CITY OF CODY HAS RECEIVED THE FOLLOWING REQUEST. YOUR COMMENTS WOULD BE APPRECIATED.

Applicant's Name(s): Long Range Investments, LLC (A+ Storage Secure Storage)
Subject Property: Lot 15 of the Amended Greenwing Addition subdivision (310 Robert St.)

Description: The City of Cody Planning and Zoning Board will hold a public hearing Wednesday, November 12, 2014, at 12:00 p.m. (noon) or as soon thereafter as practical, in the City Council Chambers located in City Hall at 1338 Rumsey Avenue, to consider a request from Long Range Investments, LLC to amend the Greenwing Addition Amended Subdivision by removing or modifying Note 7 and notations pertaining to a 20-foot wide buffer and 3-foot tall berm across the north edge of Lot 15 of the subdivision. Note 7 on the subdivision states, "No structures, future grading, or changes to drainage allowed within buffer limits." Lot 15 is located on the west side of Robert Street, immediately south of the Upland Addition subdivision (Kent Avenue). Information regarding the request is available by contacting the Community Development Dept. in City Hall, or calling (307) 527-7511. Everyone is welcome to comment. If hearing assistance is needed, please call 527-7511, 24 hours in advance. The Planning and Zoning Board will consider all comments in their recommendation to the City council on the matter.

Response Letter from Owner of Neighboring Property:

(Responses may be submitted in any written format. The following form is provided for your convenience.)

Dear Planning and Zoning Board Members:

I am familiar with the proposal by Long Range Investments, LLC for the plat amendment described above. I am the legal owner of _____

(Address or property location)

☐ I have NO OBJECTION to the Plat Amendment Request.

Name: _____

Address: _____

Comments: _____

☒ I OBJECT to the Plat Amendment Request:

Name: Robert Heine

Address: 2850 Kent Ave

Specific Reason(s) for Objection: to much commercial stuff

in this area.

If you would like to receive a copy of the Planning and Zoning Board agenda materials for this request, please provide your email address: E-mail address: _____

Response Letter from Owner of Neighboring Property:

(Responses may be submitted in any written format. The following form is provided for your convenience.)

Dear Planning and Zoning Board Members:

I am familiar with the proposal by Long Range Investments, LLC for the plat amendment described above. I am the legal owner of 2814 Kent Ave

(Address or property location)

☐ I have NO OBJECTION to the Plat Amendment Request.

Name: _____

Address: _____

Comments: _____

☒ I OBJECT to the Plat Amendment Request:

Name: Richard + Dorothy Hannon

Address: 2814 Kent Avenue

Specific Reason(s) for Objection: Some 15 years ago, Curtis Ryan asked that this lot be rezoned from Residential B to D-3 commercial. He stated that to guarantee that commercial business would not impact Upland + Green wing, that he was

If you would like to receive a copy of the Planning and Zoning Board agenda materials for this request, please provide your email address: E-mail address: rdhannon@tctwest.net

going to place a 3 ft. berm next to the alley. Planning and Zoning agreed with this and this lot was rezoned to D-3 Commercial. Is P+Z going to now agree to take down the berm at residential expense to their peace + quiet? Are they going to break their original promise to the residents? What next - an illegal access to the alley?



NOTICE OF PUBLIC HEARING
AND OPPORTUNITY TO COMMENT

Notice to Owners of Neighboring Properties:

Please return this letter by Nov. 6, 2014 to:

Date: October 24, 2014

Cody Planning & Zoning
P.O. Box 2200
Cody, WY 82414

RE: **GREENWING ADDITION PLAT AMENDMENT**

THE CITY OF CODY HAS RECEIVED THE FOLLOWING REQUEST. YOUR COMMENTS WOULD BE APPRECIATED.

Applicant's Name(s): Long Range Investments, LLC (A+ Storage Secure Storage)

Subject Property: Lot 15 of the Amended Greenwing Addition subdivision (310 Robert St.)

Description: The City of Cody Planning and Zoning Board will hold a public hearing Wednesday, November 12, 2014, at 12:00 p.m. (noon) or as soon thereafter as practical, in the City Council Chambers located in City Hall at 1338 Rumsey Avenue, to consider a request from Long Range Investments, LLC to amend the Greenwing Addition Amended Subdivision by removing or modifying Note 7 and notations pertaining to a 20-foot wide buffer and 3-foot tall berm across the north edge of Lot 15 of the subdivision. Note 7 on the subdivision states, "*No structures, future grading, or changes to drainage allowed within buffer limits.*" Lot 15 is located on the west side of Robert Street, immediately south of the Upland Addition subdivision (Kent Avenue). Information regarding the request is available by contacting the Community Development Dept. in City Hall, or calling (307) 527-7511. Everyone is welcome to comment. If hearing assistance is needed, please call 527-7511, 24 hours in advance. The Planning and Zoning Board will consider all comments in their recommendation to the City council on the matter.

Response Letter from Owner of Neighboring Property:

(Responses may be submitted in any written format. The following form is provided for your convenience.)

Dear Planning and Zoning Board Members:

I am familiar with the proposal by Long Range Investments, LLC for the plat amendment described above. I am the legal owner of 2826 Kent Ave.

(Address or property location)

☐ I have **NO OBJECTION** to the Plat Amendment Request.

Name: _____

Address: _____

Comments: _____

☒ I **OBJECT** to the Plat Amendment Request:

Name: Meredith Cartwright

Address: 2826 Kent Ave.

Specific Reason(s) for Objection: Long Range Investments knew of the situation at time of property purchase. They should have to live with it and not ask for the change.

I feel that to change make the changes sets a precedent that those of

If you would like to receive a copy of the Planning and Zoning Board agenda materials for this request, please provide your email address: E-mail address: _____

us that have invested a great deal of money into our homes don't want to see. We are already living with the 3 story condos outside our back doors. Increased traffic + lights on all night, plus our view has been ruined. I believe

SUBJECT PROPERTY:



that there are times when quality of our environment is more important than profit. Do not change the existing requirements.

CITY OF CODY PLANNING, ZONING AND ADJUSTMENT BOARD STAFF REPORT

MEETING DATE:	NOVEMBER 12, 2014	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	
SUBJECT:	REQUEST FROM THE HIGBIE FAMILY REVOCABLE LIVING TRUST TO REZONE 4.0 ACRES TO RESIDENTIAL "B". ZON 2014-01	RECOMMENDATION TO COUNCIL:	X
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

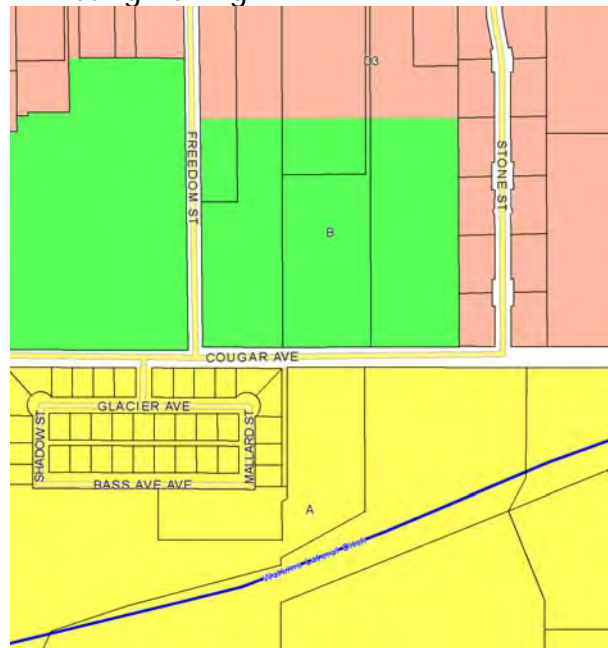
PROJECT DESCRIPTION:

Ed Higbie, on behalf of the Higbie Family Revocable Living Trust, has submitted an application to rezone 4.0 acres from Residential "A" to Residential "B". The property is located on the south side of the Cougar Avenue right-of-way, immediately east of the Shadow Mountain subdivision. The subject property is currently vacant and zoned Residential "A", which zone allows one and two-family dwellings, as well as some forms of day care, home business, and civic uses.

Existing Conditions:



Existing Zoning:



<i>DIRECTION</i>	<i>EXISTING USE</i>	<i>ZONING</i>
North	Primarily undeveloped.	Residential B
East	Vacant.	Residential A
South	Sunset Elementary above hillside.	Residential A
West	Shadow Mountain subdivision, park	Residential A

PROCEDURE:

The following section is found in the City of Cody code.

10-5-1: CITY COUNCIL AUTHORITY:

The city council may by ordinance at any time, on its own motion or petition, or upon the recommendations by the planning and zoning commission, amend, supplement or change the regulations or districts herein or subsequently established; provided, however, that a public hearing shall first be held in relation thereto, after one publication of notice of the time, place and purpose of such hearing, in an official newspaper, at least fifteen (15) days prior to such hearing. (1960 Compilation § 26-115; amd. Ord. 86-5; Ord. 87-3)

The public hearing has been advertised to occur with the Planning and Zoning Board, based on the thought that many of the details can be worked through before it is considered by the city council.

LEGAL STANDARD OF REVIEW:

The rezoning of land is a legislative action, and therefore subject to the “reasonably debatable” standard of legal review, as opposed to a “preponderance of evidence” standard. In other words, if the decision-makers find that there is at least one good reason that the rezone application should be approved or denied, then that is sufficient to justify their decision, and the court will typically uphold it. This method allows the decision-makers to give weight to the components of the evidence they believe most important, based on their values and values of the community.

REVIEW CRITERIA:

The Cody zoning ordinance does not have specific criteria outlined for granting or denying rezone requests. The following general standards for zoning are found in Wyoming state law, Section 15-1-601(d). Note that the standards are in the context of initially adopting an overall zoning plan for a community, yet they can still provide guidance for reviewing site specific proposals, so they are referenced here.

(d) All regulations shall be made:

(i) In accordance with a comprehensive plan and designed to:

Staff Comment: The City adopted a new comprehensive plan (a.k.a. master plan) this past year. Per the master plan “The Future Land Use Map...will be the guide for future zoning and development within the City.” The portion of the Future Land Use Map for this area is below. The dark yellow area that designates this property and the property to the east is “Medium-Density Residential”, which is for “residential neighborhood development with an average density of eight dwelling units per gross acre.” The types of housing contemplated for medium-density residential areas include “single-family detached homes, two family homes (a.k.a. duplexes), common wall units (two attached single-family units), and townhouses or stacked dwellings of up to four attached units.” The City has not yet created a zone to implement the medium-density residential designation described in the master plan.

Future Land Use Map:



The notable differences between the medium density designation in the master plan and the Residential B zoning district requested, are that the Residential B zoning district allows more density and effectively no limitation on the number of units in a building (e.g. apartment buildings). However, the information that the applicant has shared with staff indicates that his contemplated development plan is within the parameters of the medium density designation outlined in the master plan. He describes his intent for a cul-de-sac development consisting of duplexes, four-plexes, and maybe tri-plexes.

The master plan states, "While rezone applications may be submitted for consideration after adoption of this plan, the City Council maintains the responsibility to rezone properties in compliance with the Future Land Use Map only when they are satisfied that sufficient zoning controls are in place to ensure land use compatibility and compliance with all pertinent components of the master plan and applicable state statutes." To address the differences between what the Residential "B" zone would typically allow, versus what the medium-density designation and the applicant contemplate, staff recommends use of a development agreement to restrict future development of the property to the medium-density standards.

(A) Lessen congestion in the streets:

Staff Comment: Cougar Avenue is not presently constructed along the frontage of this property, other than as a gravel maintenance/emergency access road. The construction of Cougar Avenue to a paved standard is viewed as a prerequisite to development of the subject property. This will address the dust concerns that some of the neighbors have identified.

The developed portion of Cougar Avenue typically operates without significant traffic congestion. The exception would be during school drop-off/pick-up times immediately in front of the middle school. As many parents drive their children to school, additional congestion will result from any residential development in the city or neighboring county areas—therefore the impact is not specific to this rezone. If anything, the proximity of the development to the school means that middle school children from this subdivision are more likely to walk instead of ride, and the overall trip lengths are minimized compared to more distant locations (think reduced gas expenses and reduced time behind the wheel).

It is also pointed out that the congestion analysis is not a comparison to no development, but the difference between existing zoning and proposed zoning. Based on the layout of the vacated portion of the Shadow Mountain subdivision that previously existed for this property, 24 dwelling units were previously planned on the subject property under the Residential A standards. The latest plan that the applicant discussed with staff would result in 24 to 28 units, although up to 32 units would be permitted under the 8 unit per acre guidance of the master plan.

(B) Secure safety from fire, panic and other dangers;

Staff Comment: Slightly increased density due to the Residential "B" zoning, limited to the medium-density residential definition of the master plan, is not expected to disproportionately increase fire, panic, or other physical dangers.

(C) Promote health and general welfare;

Staff Comment: Rephrased, would the zoning contemplated be an asset to the community? Based on local and national trends and demographic projections, attached housing configurations are growing in demand. While historically attached housing made up only a small fraction of new construction, in the last few years it has steadily increased market share and now constitutes half of all new dwellings in the city (based on 2012 and 2013 building permit data). The current zoning of the property would allow duplex development. The rezone desired by the developer would allow more options for configuration—specifically 3- and 4-plex configuration.

(D) Provide adequate light and air;

Staff Comment: Both the Residential "A" and Residential "B" zones limit lot coverage to 50%. Maximum building height in Residential "A" is 28 feet, where Residential "B" is 35 feet. The primary method of providing adequate light and air is through building setbacks. In this instance, there is also a 20-foot wide alley that separates the subject property from the residential lots to the west.

(E) Prevent the overcrowding of land;

Staff Comment: What constitutes "overcrowding" is subject to personal interpretation, but as far as measuring it by the capacity of the utility and public systems, the systems are adequate to serve the contemplated medium-density

scenario.

(F) Avoid undue concentration of population;

Staff Comment: Again, this is subject to personal interpretation, yet it is not thought that population would be overly concentrated if the medium-density restrictions of the master plan are followed.

(G) Facilitate adequate provisions for transportation, water, sewerage, schools, parks and other public requirements.

Staff Comment: This is believed to apply more to the overall zoning plan for the city, rather than an individual property. Nevertheless, the physical ability to readily extend transportation, water, and sewer systems to the property does exist. Impacts for parks and other public facilities are addressed at the time of subdivision through land dedication, or fee in lieu.

(ii) With reasonable consideration, among other things, of the character of the district and its peculiar suitability for particular uses;

Staff Comment: It is interpreted that this language primarily refers to the creation of zoning districts and the particular types of development that should be permitted within each zone. In addition, it could refer to how well the proposed zone reflects what is already in the area. Admittedly, the adjacent development to the west is single-family residential in character. However, across the street is the potential for Residential B development of apartment complexes. The medium-density scenario contemplated is between the two extremes.

(iii) With a view to conserving the value of buildings and encouraging the most appropriate use of land throughout the city or town; and

Staff Comment: In the present case, the immediate concerns of the single-family neighborhood are likely at odds with the developer's intent of creating a residential neighborhood with a variety of housing options, as contemplated in the master plan. However, there is an apparent demand for the type of housing the owner intends to develop on this property. If there are statements that the rezone will negatively affect the value of neighboring buildings, staff may agree if the rezone were to mean apartment complexes, but with the medium-density limitations suggested and the isolated configuration of the planned development, it is doubtful that any significant changes to neighboring property values would occur.

(iv) With consideration given to the historic integrity of certain neighborhoods or districts and a view to preserving, rehabilitating and maintaining historic properties and encouraging compatible uses within the neighborhoods or districts, but no regulation made to carry out the purposes of this paragraph is valid to the extent it constitutes an unconstitutional taking without compensation.

Staff Comment: This property and surrounding properties do not include any buildings of significant historic character. The present integrity of the neighboring subdivision will

be preserved, as the contemplated development is physically removed and isolated traffic-wise from the Shadow Mountain subdivision.

OTHER:

Significant Changes:

When reviewing rezones it is beneficial to consider whether there has been a change in circumstances since the property was designated with its current zone, and whether there is a public need for the type of zoning requested.

The property was annexed into the city as part of the northeast Cody annexation in January 1986. It was zoned Residential "A" on June 2, 1986. Since that time there have been two major master plan updates, construction of the middle school, and new utility extensions to the area.

Proximity to Like Zoning:

The subject property is directly across the street from a Residential B zone. Therefore, it is clearly an extension of the zone, as opposed to an isolated "spot zone".

Development Constraints:

It is noted that the National Wetlands Inventory map shows potential wetlands at the northwest and southern ends of the property. The presence or absence of these wetlands will need to be verified by a qualified professional prior to any physical development of the property.

Public Hearing:

Please note that this staff report was prepared without the benefit of the information that will be provided at the public hearing. All public comment needs to be considered. If the owners of more than 20% of the lots within 140 feet of the rezone area object to the rezone, it cannot be made effective without the vote of $\frac{3}{4}$ of the city council (6 of the 7 council members).

ATTACHMENTS:

Application, public comments.

ALTERNATIVES:

Recommend approval or denial of the requested rezone.

RECOMMENDATION:

The City Planner recommends a favorable recommendation for the rezone, subject to the execution of a development agreement by the property owner to abide by the density and building type restrictions of the "medium-density residential" master plan designation—meaning no more than four attached units per building, and no more than 32 dwelling units on the 4.0 acres.

Response Letter from Owner of Neighboring Property:

(Responses may be submitted in any written format. The following form is provided for your convenience.)

Dear Planning and Zoning Board Members:

I am familiar with the rezone proposal by Ed Higbie as described above. I am the legal owner of 2937 Glacier Ave
(Address or property location)

☐ I have NO OBJECTION to the Plat Amendment Request.

Name: _____

Address: _____

Comments: _____

☒ I OBJECT to the Plat Amendment Request:

Name: ROY Carson

Address: 2937 Glacier Ave Cody Wyo

Specific Reason(s) for Objection: It will Increase Traffic by High
Speeds Like before, with the gates it's maintained, and not
used as a Race Strip And the dust is Unbearable!

If you would like to receive a copy of the Planning and Zoning Board agenda materials for this request, please provide your email address: E-mail address: _____

P.S. The city police would make good money on
Speeding tickets, If they open the Street
up to Stone + 33rd streets

ADVANCE. THE PLANNING AND ZONING BOARD WILL CONSIDER ALL COMMENTS IN THEIR RECOMMENDATION TO THE CITY COUNCIL ON THE matter.

Response Letter from Owner of Neighboring Property:

(Responses may be submitted in any written format. The following form is provided for your convenience.)

Dear Planning and Zoning Board Members:

I am familiar with the rezone proposal by Ed Higbie as described above. I am the legal owner of 808 Mallard St
(Address or property location)

☐ I have NO OBJECTION to the Plat Amendment Request.

Name: _____

Address: _____

Comments: _____

☒ I OBJECT to the Plat Amendment Request:

Name: Luis F. Martinez

Address: 808 Mallard St.

Specific Reason(s) for Objection: to much Traffic especially with
the middle School being so close. Also property
values would go down. Area would look better if left

If you would like to receive a copy of the Planning and Zoning Board agenda materials for this request, please provide your email address: E-mail address: luis-martinez7@hotmail.com

as a residential Area.



NOTICE OF PUBLIC HEARING
AND OPPORTUNITY TO COMMENT

Notice to Owners of Neighboring Properties:

Please return this letter by Nov. 6, 2014 to:

Date: October 24, 2014

Cody Planning & Zoning
P.O. Box 2200
Cody, WY 82414

RE: **REQUEST TO REZONE 4.0 ACRES TO RESIDENTIAL "B"**

THE CITY OF CODY HAS RECEIVED THE FOLLOWING REQUEST. YOUR COMMENTS WOULD BE APPRECIATED.

Applicant's Name(s): Ed Higbie (Higbie Family Revocable Living Trust)
Subject Property: 4.0 acres south of Cougar Avenue and immediately east of the Shadow Mountain Subdivision, being a portion of the vacated part of the Shadow Mountain subdivision. See attached map.
Request: Rezone the property noted from Residential "A" to Residential "B".

Description: The City of Cody Planning and Zoning Board will hold a public hearing Wednesday, November 12, 2014, at 12:00 p.m. (noon) or as soon thereafter as practical, in the City Council Chambers located in City Hall at 1338 Rumsey Avenue, to consider the request to rezone the subject property from Residential "A" to Residential "B", which zoning district is described in City of Cody Code 10-7C and is considered a multi-family zone.

Information regarding the request is available by contacting the Community Development Dept. in City Hall, or calling (307) 527-7511. Everyone is welcome to comment. If hearing assistance is needed, please call 527-7511, 24 hours in advance. The Planning and Zoning Board will consider all comments in their recommendation to the City council on the matter.

Response Letter from Owner of Neighboring Property:

(Responses may be submitted in any written format. The following form is provided for your convenience.)

Dear Planning and Zoning Board Members:

I am familiar with the rezone proposal by Ed Higbie as described above. I am the legal owner of 819 MALLARD
(Address or property location)

☒ I have NO OBJECTION to the Plat Amendment Request.

Name: PEGGY NEFF

Address: 27 LANE 19 P.O. BOX 1312 CODY, WY 82414

Comments: HE OWNS IT AS LONG AS HE FOLLOWS CITY ORDINANCES, HE'S GOOD TO GO

☐ I OBJECT to the Plat Amendment Request:

Name: _____

Address: _____

Specific Reason(s) for Objection: _____

If you would like to receive a copy of the Planning and Zoning Board agenda materials for this request, please provide your email address: E-mail address: _____

Comments: _____

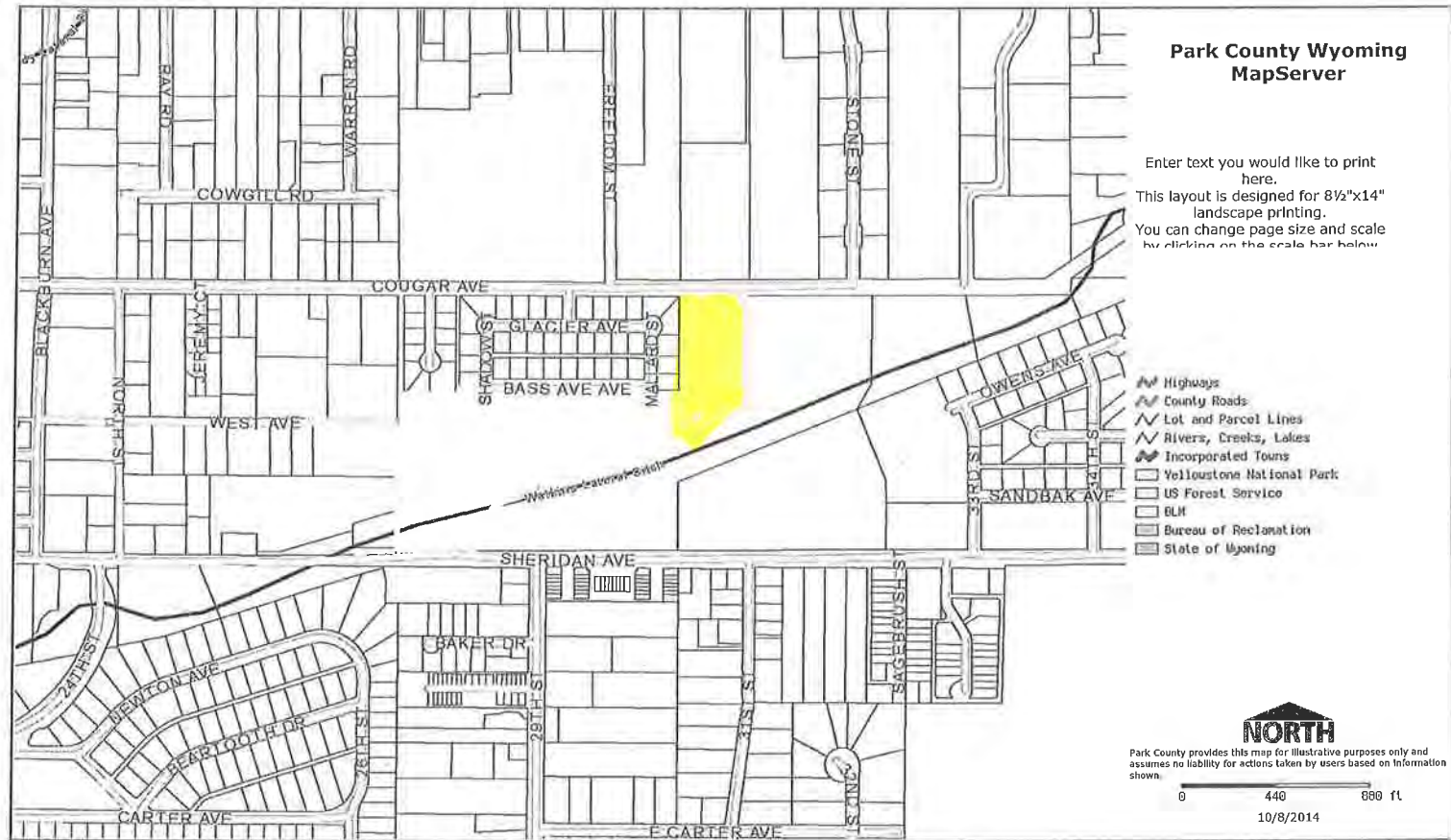
☒ I OBJECT to the Plat Amendment Request:

Name: William B Wilson

Address: 820 Mallard St.

Specific Reason(s) for Objection: Object to multi-family units adjacent to my property.

If you would like to receive a copy of the Planning and Zoning Board agenda materials for this request, please provide your email address: E-mail address: wmb-wilson@hotmail.com





Roy Holm, PE & LS
Paul Blough, LS

HOLM, BLOUGH and COMPANY

CONSULTING ENGINEERS AND LAND SURVEYORS
1402 Stampede Ave., Cody, WY 82414
(307) 587-6281
Fax 587-6282

June 19, 2009

Job No. 09-092

ED HIGBIE

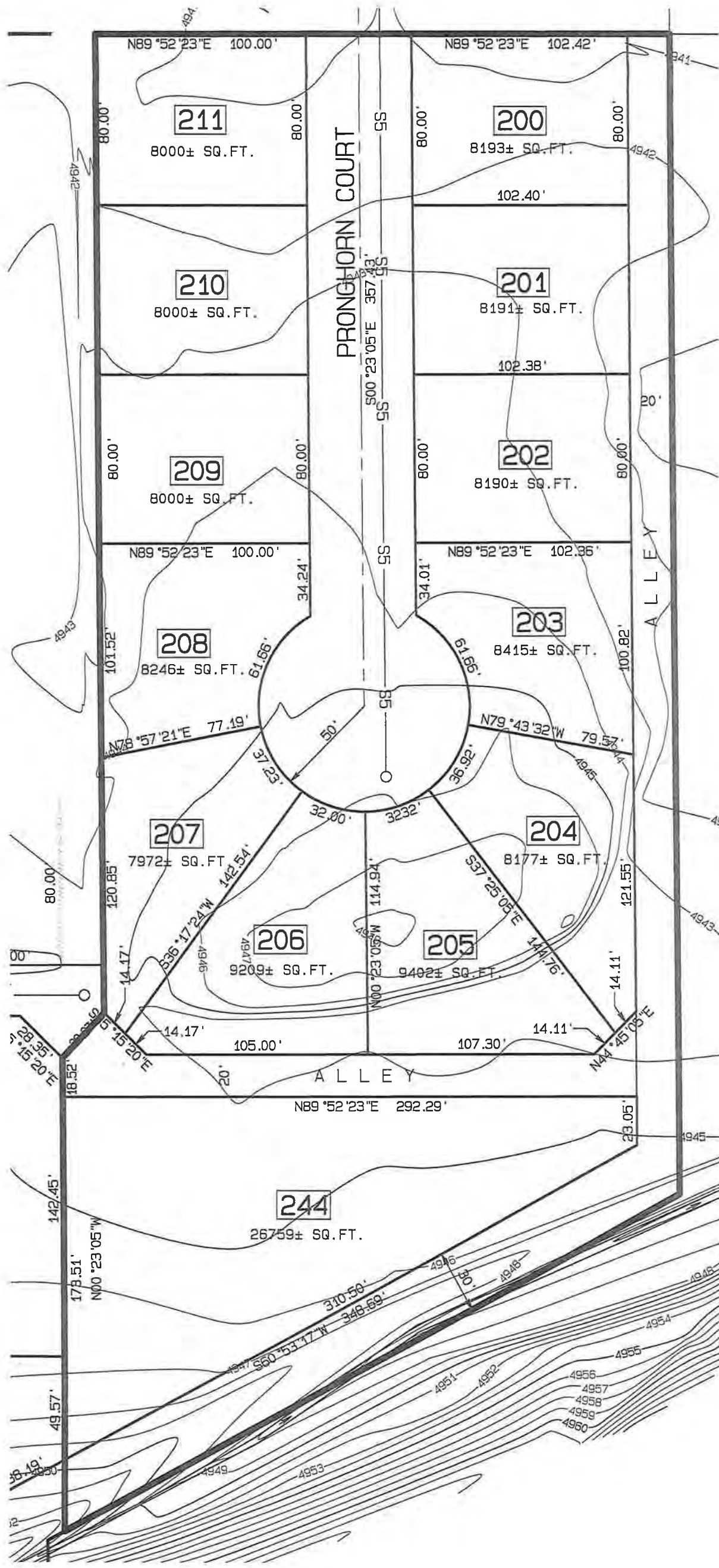
LEGAL DESCRIPTION OF A PORTION OF THAT PORTION OF SHADOW MOUNTAIN SUBDIVISION THAT HAS BEEN VACATED

A portion of that portion of the Shadow Mountain Subdivision that has been vacated as shown on the plat of said vacation recorded as Document No. 2003-12227 and filed in Plat Cabinet "G" at page 151 of the records of the Clerk and Recorder of Park County, Wyoming and located within the City of Cody, Park County, Wyoming and being more particularly described as follows:

Beginning at the northeast corner of said vacated Shadow Mountain Subdivision; thence South 00°22'10" East along the easterly line thereof, a distance of 548.58 feet to the southeasterly corner thereof; thence South 60°53'17" West along the southerly boundary of said vacated Shadow Mountain Subdivision, a distance of 333.30 feet to a point on the east line of the Ted Ebert Park, if said east line were extended southerly; thence North 00°23'05" West along said extended line, a distance of 83.78 feet to the southeast corner of that portion of said Ted Ebert Park as conveyed to the City of Cody by the quitclaim deed recorded as Document No. 2004-741 of the deed records of said Park County Clerk and Recorder; thence continuing North 00°23'05" West along said east line Ted Ebert Park, a distance of 142.45 feet to a corner thereof; thence North 42°41'23" East, a distance of 29.28 feet to the east line of the alley lying easterly of Lots 12 through 15 of the Shadow Mountain Subdivision as shown on the plat thereof filed in Plat Cabinet "F" at page 84 of said records, if said east line were extended southerly; thence North 00°23'05" West along said extended east line and the true east line of said alley, a distance of 462.37 feet to the south line of Cougar Avenue; thence North 89°52'23" East along said south line Cougar Avenue, a distance of 272.43 feet to the point of beginning.

Said parcel of land contains 4.01 acres, more or less, and is subject to all easements and/or rights of way which have been legally acquired.

Modification in any way of the foregoing legal description terminates all liability of the surveyor who prepared that description.



**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	NOVEMBER 12, 2014	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	ARCHITECTURAL AND SIGN REVIEW, BURGER KING RESTAURANT REMODEL SPR 2014-42	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

Westec Construction Management has submitted an application on behalf of the Meridian Restaurant Group for an interior/exterior remodel of the Burger King restaurant at 1902 Mountain View Drive. The remodel includes a new color scheme; new architectural accents of horizontal lap siding at the drive up windows, east entry, and southwest corner; recovering the blue metal awning with a zinc cote standing seam metal panel; replacing the red parapet band with a candy apple red corrugated metal panel with LED lighting; painting all window trim silver; installing new suspended canopies over the drive thru windows and east entry; and replacing all signage on the building and menu boards.

Existing Conditions:



The proposed color scheme is shown on the attached photos of buildings to proposal. The applicant provided the following explanation of the photos:

"Photos Attached: The store there in Cody will be different in that we are just painting the existing block to the colors shown on the attached pictures. In the pictures attached we had EIFS and brick wainscot. We will be painting the existing block to match these colors though. The Camel Tan body color with Monterey Cliff brown color for the wainscot and tower to right of the main entry doors. We will be framing the

towers at the drive thru windows, corner of the playland, and main entry then siding it with hardi board siding, which will be painted black like shown in the pictures. The light band shown on top of the parapet wall will be same as shown in the pictures. This light band is a prefabricated unit that comes out in 10' sections and prefabricated corners to be assembled on top of the parapet wall. It has LED lighting in it. The silver aluminum canopies that will mount above the drive thru windows and entry doors are shown on pictures. What is not shown on the attached pictures is the standing seam roofing metal that is shown on the building elevations. The new standing seam metal will be silver color. Last is a picture of the new clearance bar and order boards. The speaker post/order station will remain as currently is. We will be getting a new clearance bar as shown in the pictures. New preview menu board and menu board as shown in the attached pictures, which are basically the same as existing just black now."

The current project does not include any proposed landscaping or changes to the freestanding signs.

REVIEW CRITERIA:

Section 10-10B-4 of the zoning regulations states:

All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.

In addition, Section 9-2-3 states:

Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.

STAFF COMMENTS:

The changes to the building are professionally designed and will modernize the architectural presentation of the building. Staff has no concerns regarding the exterior architectural modifications. Additional items that are part of the zoning review are noted below:

Storm Water:

No new impervious surfaces are being added, so no storm water plan is needed.

Parking:

As there is no expansion of the building footprint, the parking ordinance does not require additional parking. For reference, inside seating will have a capacity of 86

persons, plus the existing seven tables outside. Based on the size of the building, the parking ordinance would require 57 spaces. Currently 43 traditional spaces are provided, plus the stacking provided in the drive thru lane. In practice, the existing number of on-site parking spaces has been adequate.

Lighting:

Exterior lighting on the building is primarily provided by the recessed can lights under the awning. The five wall pack LED lights are full cut off style. Two would be downlit only (at east entrance and on north side of building), and the other three would be both uplit and downlit, using three 9 or 12 watt LED modules ("bulbs") for each direction. The lighting levels do not appear to be excessive.

Landscaping:

Much of the existing landscaping is dead, with the exception of three trees at the north end of the property and three trees along the drive-thru. The property is under new ownership and staff noted to the contactor that the owner will eventually need to address the landscaping. Landscaping is not part of this specific project, as the budget and project scope have already been determined.

Signage:

The proposal includes four, 6-foot diameter button signs to be added to the building. In addition a "Home of the Whopper" sign measuring 14" tall and 22'8" long would be mounted on the canopy above the east entry. The signs are shown on Sheet A-6.

The four button signs total 113 square feet of area, and the "Home of the Whopper" 26.4 square feet, for a total of 139.4 square feet of wall signage, which is well within the allowable amount.

ATTACHMENTS:

Application materials.

ALTERNATIVES:

Approve or deny the plans for the proposed exterior improvements.

RECOMMENDATION:

Approve the proposal as submitted.





REMODEL FOR: BURGER KING CORPORATION

BID SET

STORE #6118
1902 MOUNTAIN VIEW DRIVE
CODY, WYOMING

GENERAL NOTES

- DIMENSIONS TAKE PRECEDENCE OVER SCALE ON CONSTRUCTION DOCUMENTS.
- G.C. SHALL VISIT THE SITE PRIOR TO BIDDING TO CHECK EXISTING CONDITIONS. SHOULD CONTRACTOR FIND CONDITIONS WHICH HE BELIEVES WOULD IMPED HIS WORK OR FIND DISCREPANCIES BETWEEN THE PLANS AND EXISTING SITE CONDITIONS, SUCH CONDITIONS MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO ADVISE WILL CONSTITUTE NOTICE THAT CONTRACTOR IS FULLY SATISFIED WITH THE EXISTING CONDITIONS AND THAT HE INTENDS TO PERFORM HIS OBLIGATIONS WITH NO ALLOWANCE EITHER IN TIME OR MONEY FOR ANY IMPEDIMENTS TO HIS WORK.
- ITEMS NOT INDICATED IN THESE DOCUMENTS THAT CAN BE LEGITIMATELY AND REASONABLY INFERRED TO COMPLETE THE WORK SHALL BE FURNISHED BY THE CONTRACTOR AS THOUGH IT WERE DETAILED HEREIN.
- ALL BUILDING AND SITE SIGNS REQUIRE SEPARATE APPROVALS & PERMITS.
- CONTRACTOR SHALL PROVIDE PROPER SHORING AND DISCONNECTION OF ALL UTILITIES BEFORE ANY DEMOLITION.
- EXIT WAYS SHALL BE ILLUMINATED BY BACK-UP POWER. THE CONTRACTOR SHALL PROVIDE EMERGENCY LIGHTING TESTING PRIOR TO INSPECTION BY DISCONNECTING THE MAIN.
- THE WARRANTIES AND GUARANTEES PROVIDED IN THE CONSTRUCTION DOCUMENTS SHALL BE IN ADDITION TO AND NOT IN LIMITATION OF ANY OTHER WARRANTY OR GUARANTY OR REMEDY REQUIRED BY LAW OR BY THE CONSTRUCTION DOCUMENTS.
- THE UNLATCHING OF ANY LEAF OF ANY EXIT DOOR SHALL NOT REQUIRE MORE THAN ONE OPERATION.
- HANDLES, PULLS, LATCHES AND LOCKS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE.
- BID DOCUMENTS SHALL BE DISTRIBUTED TO SUB-CONTRACTORS IN COMPLETE SETS AS INDICATED BY THE SHEET INDEX. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT SUBCONTRACTORS BID ON ALL ITEMS ASSOCIATED WITH THEIR RESPECTIVE TRADES.
- TELEPHONE CONNECTION REQD. BY THE PHONE COMPANY: A 28 PAIR CABLE WITH A FULL STRING IN A 4" CONDUIT STUBBED UP AT THE TELEPHONE MOUNTING BOARD INSIDE THE BLDG. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THIS INSTALLATION WITH THE LOCAL PHONE COMPANY AT THE EARLIEST POSSIBLE TIME TO INSURE COMPATIBILITY WITH THE CONSTRUCTION SCHEDULE BUT NO LATER THAN 30 DAYS PRIOR TO DATE OF SUBSTANTIAL COMPLETION.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED AND CONDITIONED IN ACCORDANCE WITH THE MANUFACTURERS' WRITTEN SPECIFICATIONS OR INSTRUCTIONS UNLESS HEREINAFTER SPECIFIED TO THE CONTRARY.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION AND/OR INSTALLATION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- ALL WORK SHALL BE EXECUTED IN A NEAT AND WORKMANLIKE MANNER, ACCEPTABLE TO OWNER.
- WHEN WORK NOT SPECIFICALLY CALLED OUT IS REQUIRED TO COMPLETE THE PROJECT, IT SHALL BE PROVIDED AND BE OF THE BEST MATERIALS AND WORKMANSHIP.
- CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION (IN WRITING).
- UNLESS OTHERWISE SPECIFICALLY NOTED, THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY, TRANSPORTATION, AND OTHER FACILITIES AND SERVICES NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK.
- THE CONTRACTOR WARRANTS TO THE OWNER AND THE ARCHITECT THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS. ALL WORK NOT SO CONFORMING TO THESE STANDARDS MAY BE CONSIDERED DEFECTIVE. IT IS UNDERSTOOD THAT NO INFERIOR OR NON-CONFORMING WORK OR MATERIALS WILL BE ACCEPTED WHETHER DISCOVERED AT THE TIME THEY ARE INCORPORATED IN THE WORK OR AT ANY TIME BEFORE OR AFTER THE FINAL ACCEPTANCE. IF REQUIRED BY THE ARCHITECT OR OWNERS AGENT, THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF MATERIALS AND EQUIPMENT.

GENERAL SPECS.

- WE CERTIFY TO THE BEST OF OUR KNOWLEDGE AND BELIEF THAT THE DESIGN OF THIS PROJECT COMPLIES WITH THE APPLICABLE PROVISIONS OF THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT OF 1990 AND COMPLIES WITH ANSI A117.1 - 2003.
- ALL EXITS TO BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE.
- MANUALLY OPERATED EDGE OF SURFACE MOUNTED FLUSH BOLTS ARE PROHIBITED.
- STUD PARTITIONS TO BE ANCHORED 60 AS TO RESIST A LATERAL LOAD OF 5 P.S.F.
- ALL INTERIOR OR EXTERIOR GLASS SUBJECT TO HUMAN IMPACT SHALL CONFORM TO STANDARDS SET FORTH BY CHAPTER 24 OF THE IBC, AND THE SAFETY STANDARD FOR ARCHITECTURAL GLAZING MATERIALS, TITLE 16 CFR PART 1201 AS ISSUED BY THE CONSUMER PRODUCT SAFETY COMMISSION, EFFECTIVE JULY 6, 1972, INCLUDING ALL AMENDMENTS TO DATE IN CASE OF CONFLICT, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.
- INTERIOR FINISHES TO HAVE MAXIMUM FLAME SPREAD RATING OF 200.

INDEX OF DRAWINGS	
T-1	COVER SHEET
ARCHITECTURAL	
A-1	FLOOR DEMOLITION PLAN
A-2	CEILING DEMOLITION PLAN
A-3	REVISED FLOOR PLAN AND DETAILS
A-4	REVISED CEILING PLAN AND DETAILS
A-5	EXTERIOR DEMOLITION PLAN
A-6	REVISED EXTERIOR ELEVATIONS
A-7	EXTERIOR COLOR SCHEDULE
A-8	WALL SECTIONS
A-9	WALL SECTIONS
A-10	ENLARGED RESTROOM PLAN AND DETAILS
A-11	DOOR SCHEDULE AND DETAILS WINDOW TYPES
A-12	CEILING DETAILS
ELECTRICAL	
E-1	LIGHTING DEMOLITION PLAN
E-2	LIGHTING PLAN, PARAPET LIGHTING PLAN
E-3	LUMINAIRE SCHEDULE, LIGHTING ENERGY CALCS
E-4	EQUIPMENT PLAN, PANEL SCHEDULES
DECOR	
ID-1	COVER SHEET
ID-2	SEATING LAYOUT
ID-3	FURNITURE FINISH LAYOUT
ID-4	WALL FINISH LAYOUT
ID-5	PENDANT, SPLIT, GRAPHIC LAYOUT
ID-6	FLOORING LAYOUT
ID-7	INTERIOR ELEVATIONS
ID-8	INTERIOR ELEVATIONS
ID-9	FURNITURE FINISH SPECIFICATIONS
ID-10	INTERIOR BUILDING SPECIFICATIONS
ID-11	INTERIOR BUILDING SPECIFICATIONS
ID-12	INTERIOR BUILDING SPECIFICATIONS
ID-13	INTERIOR BUILDING SPECIFICATIONS
ID-14	PRODUCT IMAGES
ID-15	PRODUCT DETAILS

OWNER

MERIDIAN RESTAURANT GROUP
100 WEST 3000 SOUTH
COPPER, UTAH 84001
(801) 671-0300 VOICE
DAVID HARPER

ARCHITECT

BRIAN D. RUSSELL ARCHITECTS, INC.
12312 SOUTH REDWOOD ROAD
RIVERTON, UTAH 84065
(801) 307-0800 VOICE
(801) 307-0801 FAX
BRIAN RUSSELL, AIA

STRUCTURAL ENGINEER

JARRATT ENGINEERING
8030 NORTH UPPER LANDO LANE
PARK CITY, UTAH 84098
(435) 655-0851 VOICE
(435) 647-5114 FAX

ELECTRICAL ENGINEER

THOMAS AND KOLMAN ENGINEERING
64 WEST 1100 SOUTH
SALT LAKE CITY, UTAH 84115
(801) 484-8161 VOICE
(801) 484-3330 FAX

INTERIOR DECOR / SEATING

SEATING CONCEPTS
125 CONNELL AVE.
RICKDALE, IL 60436
(815) 132-7880 VOICE
(815) 132-7863 FAX

CODE INFORMATION

BUILDING CODE:	2012 IBC
PLUMBING CODE:	2012 UPC
ELECTRICAL CODE:	2011 NEC
MECHANICAL CODE:	2012 IMC
ACCESSIBILITY:	2009 ANCI 117.1
TYPE OF CONSTRUCTION:	II B
OCCUPANCY GROUP:	A-2
FIRE SPRINKLED:	NO
EXISTING BUILDING SIZE:	3,662 SQ. FT.
TOTAL BUILDING SIZE:	3,662 SQ. FT.
OCCUPANT LOAD:	KITCHEN 703 SF / 200 4 DINING ROOM ACTUAL SEATING 86 STORAGE 360 SF / 300 1 BUSINESS 50 SF / 100 1 WAITING 100 SF / 15 1 OCCUPANT LOAD 99

EXIT REQUIRED: 3
EXIT PROVIDED: 4
EXIT WIDTH REQUIRED: 20"
EXIT WIDTH PROVIDED: 15"

CONTRACTOR NOTES

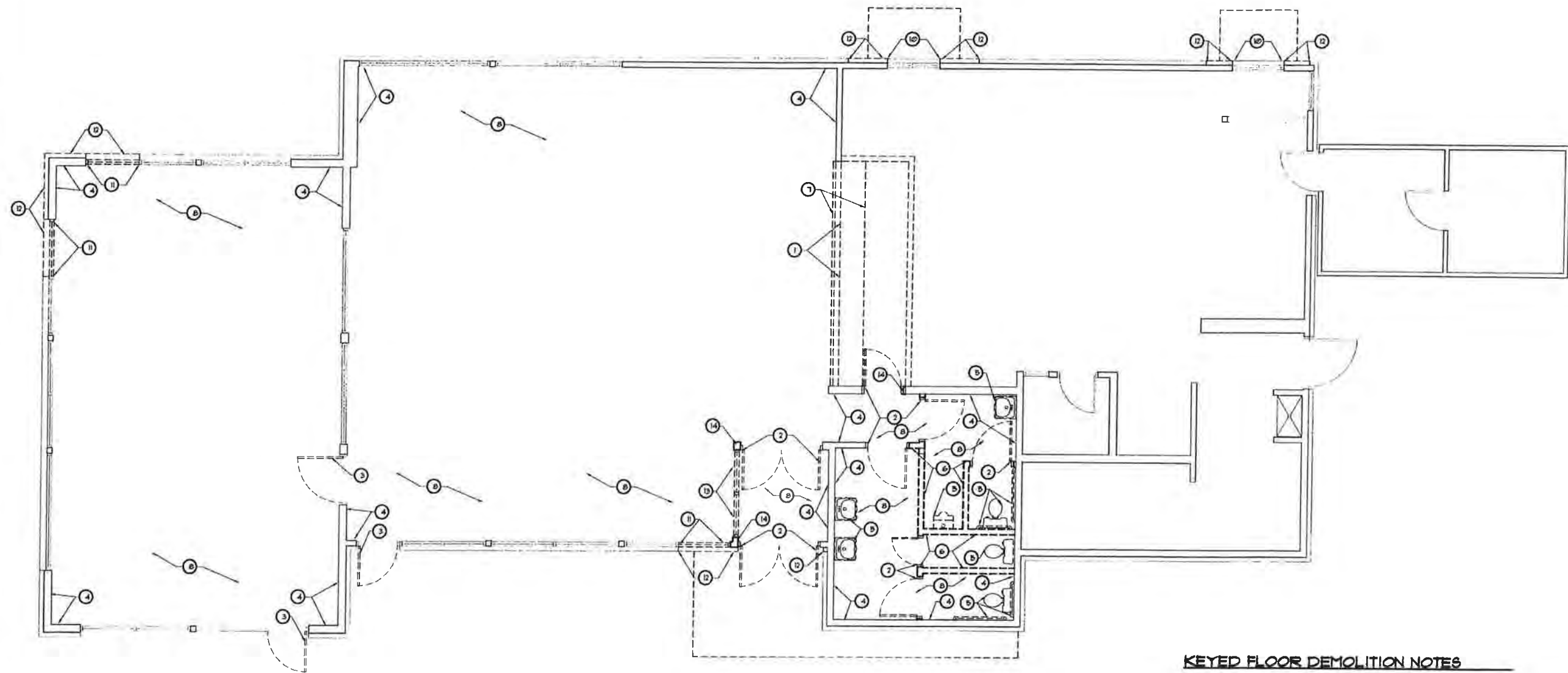
- IT IS THE CONTRACTORS RESPONSIBILITY TO REVIEW ALL DRAWINGS AND SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL PRIOR TO SUBMITTING A BID. REPORT ANY DISCREPANCIES TO ARCHITECT OR ENGINEER PRIOR TO BID.
- BIDDERS ARE TO VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF THE WORK. THE SUBMISSION OF A BID WILL BE EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE. LATER CLAIMS FOR LABOR, EQUIPMENT OR MATERIALS REQUIRED, OR FOR ANY DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN HAD AN EXAMINATION BEEN MADE, WILL NOT BE ALLOWED.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT, LANDLORD, OR TENANT OF ANY DISCREPANCIES ENCOUNTERED ON THE PLANS OR IN EXISTING SITE CONDITIONS PRIOR TO SUBMISSION OF BID.
- CONTRACTOR, DURING PRE-BID SITE VISIT, SHALL TAKE NOTICE OF ANY VISUALLY APPARENT CODE VIOLATIONS AND ALLOW IN HIGHER BID FOR CORRECTING SUCH VIOLATIONS.
- CONTRACTORS ARE CAUTIONED TO COORDINATE ITEMS IN THEIR SCOPE OF WORK WITH OTHER TRADES.
- THESE NOTES APPLY TO ALL SHEETS.

BRIAN D. RUSSELL
ARCHITECTS, INC.
12312 SOUTH REDWOOD ROAD
RIVERTON, UTAH 84065
(801) 307-0800 (801) 307-0801 FAX

BUILDING REMODEL FOR:
BURGER KING
CORPORATION
STORE #6118
1902 MOUNTAIN VIEW DRIVE, CODY, WYOMING

TITLE SHEET

T-1



FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



KEYED FLOOR DEMOLITION NOTES

- ① REMOVE EXISTING LOW WALL FRAMING BELOW SERVICE COUNTER COMPLETE
- ② REMOVE EXISTING DOOR AND FRAME COMPLETE
- ③ REMOVE EXISTING DOOR- PREP EXISTING FRAME FOR NEW DOOR
- ④ REMOVE COMPLETE ALL EXISTING INTERIOR WALL FINISHES TYPICAL THROUGHOUT ALL PUBLIC BUILDING AREAS. PREP FOR NEW FINISHES.
- ⑤ EXISTING PLUMBING FIXTURES, PARTITIONS, AND ACCESSORIES TO BE REMOVED COMPLETE. PREP FOR NEW FINISHES. SEE DRAWING A-3 FOR ADDITIONAL INFORMATION.
- ⑥ REMOVE PORTION OF EXISTING WALL FRAMING SHOWN DASHED. FIELD VERIFY EXACT LOCATIONS AND CONDITIONS.
- ⑦ EXISTING FRONT SERVICE COUNTER TO BE REMOVED COMPLETE.
- ⑧ REMOVE EXISTING FLOOR FINISHES COMPLETE. PREP FOR NEW FINISHES
- ⑨ AT EXTERIOR WALL- CUT AND REMOVE BOTTOM PORTION OF STUCCO FINISH UNDER EXISTING WAINSCOT BAND. PREP FOR NEW BRICK VENEER FINISH.
- ⑩ AT EXTERIOR WALL- REMOVE COMPLETE EXTERIOR TILE FINISH AND PREP FOR NEW FINISHES.
- ⑪ CUT AND REMOVE PORTION OF EXISTING ALUMINUM STOREFRONT FRAME AND WINDOW GLAZING SHOWN DASHED.
- ⑫ REMOVE PORTION OF EXISTING MASONRY BLOCK VENEER SHOWN DASHED. PREP FOR NEW FRAMING AND FINISHES.
- ⑬ REMOVE EXISTING LOW WALL FRAMING, STOREFRONT FRAME AND GLAZING COMPLETE. PREP FOR NEW FRAMING AND FINISHES.
- ⑭ REMOVE PORTION OF EXISTING WALL FRAMING SHOWN DASHED. PREP FOR NEW FRAMING AND FINISHES.

FLOOR
DEMOLITION PLAN

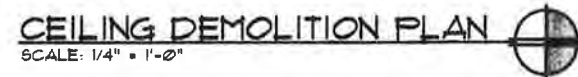
A-1

BUILDING REMODEL FOR:

BURGER KING
CORPORATION
STORE #118
1502 MOUNTAIN VIEW DRIVE, CODY WYOMING

BRIAN D. RUSSELL
ARCHITECTS, INC.
12312 SOUTH REDWOOD ROAD
RIVERTON, UTAH 84065
(801) 307-0800 (801) 307-0801 FAX

ALL DIMENSIONS UNLESS OTHERWISE NOTED. THESE DIMENSIONS ARE BASED ON THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT HAS NOT CONDUCTED A VISUAL VERIFICATION OF THE EXISTING CONDITIONS. THE ARCHITECT HAS NOT CONDUCTED A VISUAL VERIFICATION OF THE EXISTING CONDITIONS. THE ARCHITECT HAS NOT CONDUCTED A VISUAL VERIFICATION OF THE EXISTING CONDITIONS.



1. REMOVE PORTION OF EXISTING SUSPENDED CEILING GRID AND TILE SHOWN DASHED SEE DRAWING A-4-A FOR NEW CEILING INFORMATION.
2. REMOVE EXISTING GYPSUM BOARD CEILING PREP FOR NEW FINISHES.
3. REMOVE EXISTING LIGHT FIXTURES, AND MECHANICAL DIFFUSERS COMPLETE FIELD VERIFY EXACT LOCATIONS, PREP FOR NEW.
4. CUT AND REMOVE PORTION OF EXISTING FRAMED MAINBARD ROOF AND BOFFIT. SEE WALL SECTIONS FOR ADDITIONAL INFORMATION.
5. REMOVE EXISTING FRAMED BUMP-OUT BOFFIT COMPLETE.

NOTE: SEE CEILING DEMOLITION PLAN DRAWING A-2 AND EXTERIOR DEMOLITION PLAN A-4 FOR ADDITIONAL DEMOLITION WORK AND INFORMATION.
SEE ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION.

CEILING
DEMOLITION PLAN

A-2

BUILDING REMODEL FOR:



BURGER KING
CORPORATION

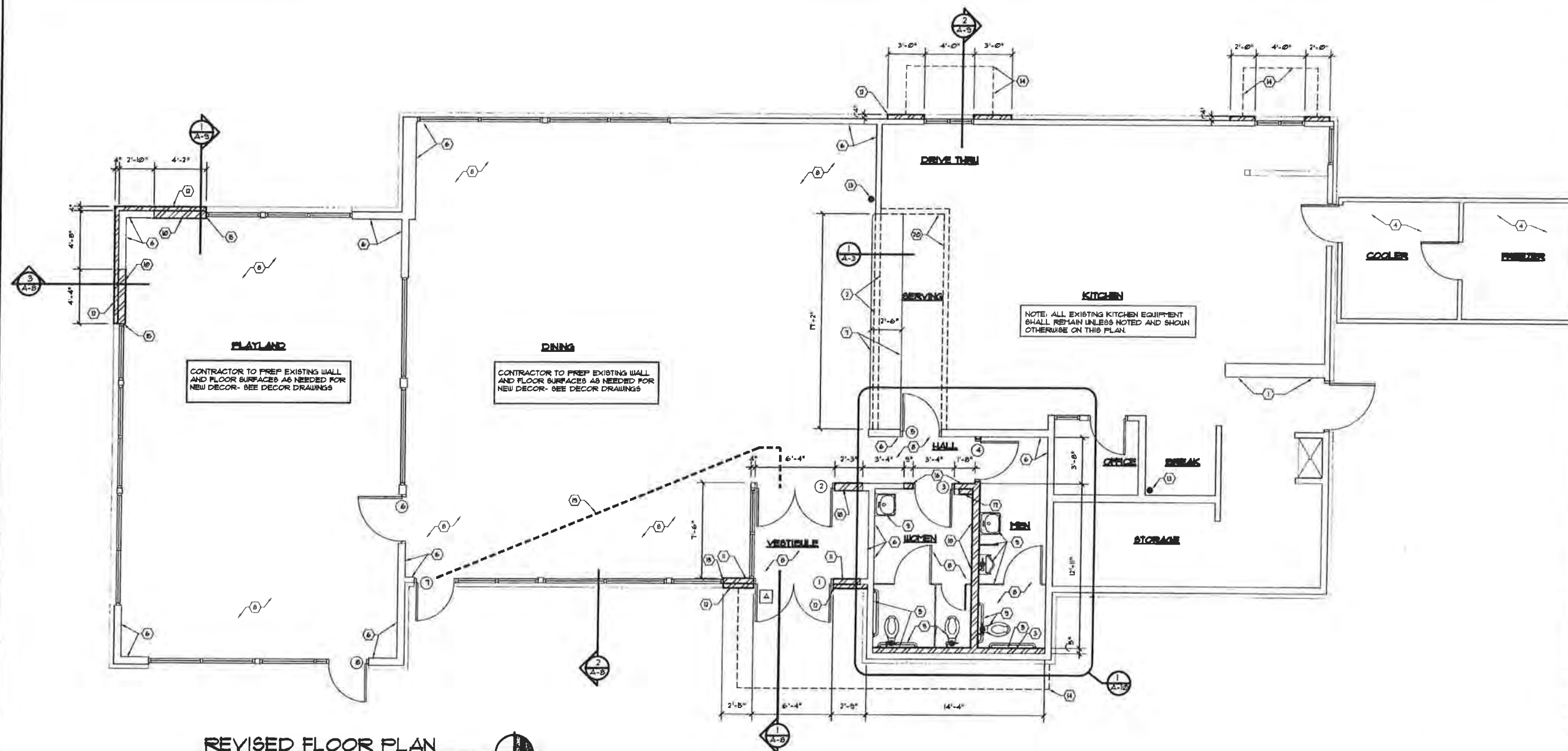
STORE #118

STORE #118
902 MOUNTAIN VIEW DRIVE, CODY WYOMING

**BRIAN D. RUSSELL
ARCHITECTS, INC.**

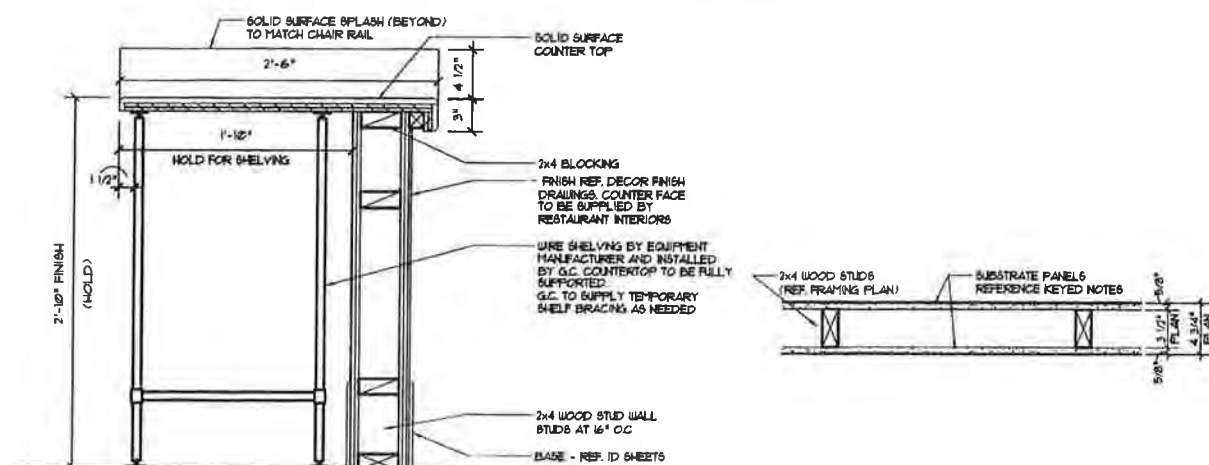
12312 SOUTH REDWOOD ROAD
RIVERTON, UTAH 84065
(801) 307-0800 (801) 307-0801 FAX

RIVERTON, UTAH 84065
(801) 307-0800 (801) 307-0801 FAX



REVISED FLOOR PLAN

SCALE: 1/4" = 1'-0"



GENERAL NOTES:

- EXTERIOR DIMENSIONS ARE TO FACE OF EXISTING MASONRY. INTERIOR DIMENSIONS ARE TO FINISH.
- OVERALL DIMENSIONS TO EXTERIOR WALLS ARE THE SAME AS TO THE OUTSIDE FACE OF FOUNDATION WALL BELOW.
- FIRE EXTINGUISHER SHALL COMPLY WITH APPLICABLE BUILDING CODES AND LOCAL RESTRICTIONS.
- CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.

FINISH NOTES:

SEE DECOR DRAWINGS FOR ALL PUBLIC SPACE FINISHES. FOR KITCHEN AND BACK ROOM WALL FINISHES CONTRACTOR TO USE KENTITE PRP 466 WHITE MAGNOLIA FOR KITCHEN AND BACK ROOM FLOOR AND BASE TO REMAIN PATCH AND REPAIR AS NEEDED TO MATCH.

KEYED NOTES:

- EXISTING ELECTRICAL PANELS SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- NEW LOW WALL FRAMING BELOW SERVING COUNTER - TOP OF COUNTER NOT TO EXCEED 34" AFF.
- NEW 1/2" GYPSUM BOARD OVER NEW 2x4 WOOD FLOORING AT 16" O.C. PROVIDE R-13 FIBERGLASS INSULATION AND MOISTURE BARRIER.
- EXISTING WALK-IN COOLER AND FREEZER BOX W/ FLOOR ON EXISTING CONCRETE SLAB.
- PROVIDE ADDITIONAL BLOCKING IN WALLS FOR ALL GRAB BARS AND BEHIND PLUMBING FIXTURES FOR SUPPORT OF WATER LINES (TYPICAL).
- EXISTING WALL FRAMING TO REMAIN. PROVIDE NEW WALL FINISHES AS PER DECOR DRAWINGS.
- NEW SERVING COUNTER AS PER DECOR DRAWINGS TOP OF COUNTER NOT TO EXCEED 34" AFF.
- NEW TILE FLOORING - COLOR AND STYLE AS PER INTERIOR DECOR DOCUMENTS. FIELD VERIFY EXISTING CONDITIONS.
- NEW PLUMBING FIXTURES AND ACCESSORIES - SEE DRAWING A-10.
- PROVIDE NEW 1/2" GYPSUM BOARD ON NEW 2x4 WOOD FRAMING AT 16" O.C. TYPICAL AT NEW EXTERIOR WALL LOCATIONS. PROVIDE R-13 FIBERGLASS INSULATION AND VAPOR BARRIER. SEE WALL SECTIONS FOR ADDITIONAL INFORMATION. NOTE - LOCATE NEW WALL FRAMING AT EXISTING FOUNDATION LOCATIONS - FIELD VERIFY EXISTING LOCATIONS AND CONDITIONS.
- PROVIDE NEW 1/2" GYPSUM BOARD ON NEW 2x4 WOOD FRAMING AT 16" O.C. TYPICAL AT NEW EXTERIOR WALL LOCATIONS. PROVIDE R-13 FIBERGLASS INSULATION AND VAPOR BARRIER. SEE WALL SECTIONS FOR ADDITIONAL INFORMATION. NOTE - LOCATE NEW WALL FRAMING AT EXISTING FOUNDATION LOCATIONS - FIELD VERIFY EXISTING LOCATIONS AND CONDITIONS.
- PROVIDE NEW 1/2" GYPSUM BOARD OVER NEW 2x4 WOOD WALL FRAMING AT 16" O.C. SEE DECOR DRAWINGS FOR ADDITIONAL INFORMATION.
- PORTION OF EXISTING STOREFRONT AND GLAZING TO REMAIN. FIELD MODIFY FRAME AS NEEDED. IF CONTRACTOR IS UNABLE TO REUSE FRAME, PROVIDE NEW TO MATCH EXISTING.
- PROVIDE ONE LAYER 1/2" GYPSUM BOARD EACH SIDE OF NEW 2x4 WOOD WALL FRAMING AT 16" O.C. SEE DECOR DRAWINGS FOR ADDITIONAL INFORMATION.
- PROVIDE NEW 1/2" GYPSUM BOARD OVER NEW 2x4 WOOD FRAMING AT 16" O.C. TYPICAL AT NEW EXTERIOR WALL LOCATIONS. PROVIDE R-13 FIBERGLASS INSULATION AND VAPOR BARRIER. SEE WALL SECTIONS FOR ADDITIONAL INFORMATION. NOTE - LOCATE NEW WALL FRAMING AT EXISTING FOUNDATION LOCATIONS - FIELD VERIFY EXISTING LOCATIONS AND CONDITIONS.
- DINING IS REQUIRED TO HAVE 2 MEANS OF EGRESS SEPARATED BY 1/2 THE DIAGONAL DISTANCE OF THE SPACE SERVED. REQUIRED DISTANCE = 26'-0". PROVIDED DISTANCE = 30'-0".
- FRAMED CEILING VALANCE ABOVE - SHOWN DASHED.

REVISED FLOOR PLAN



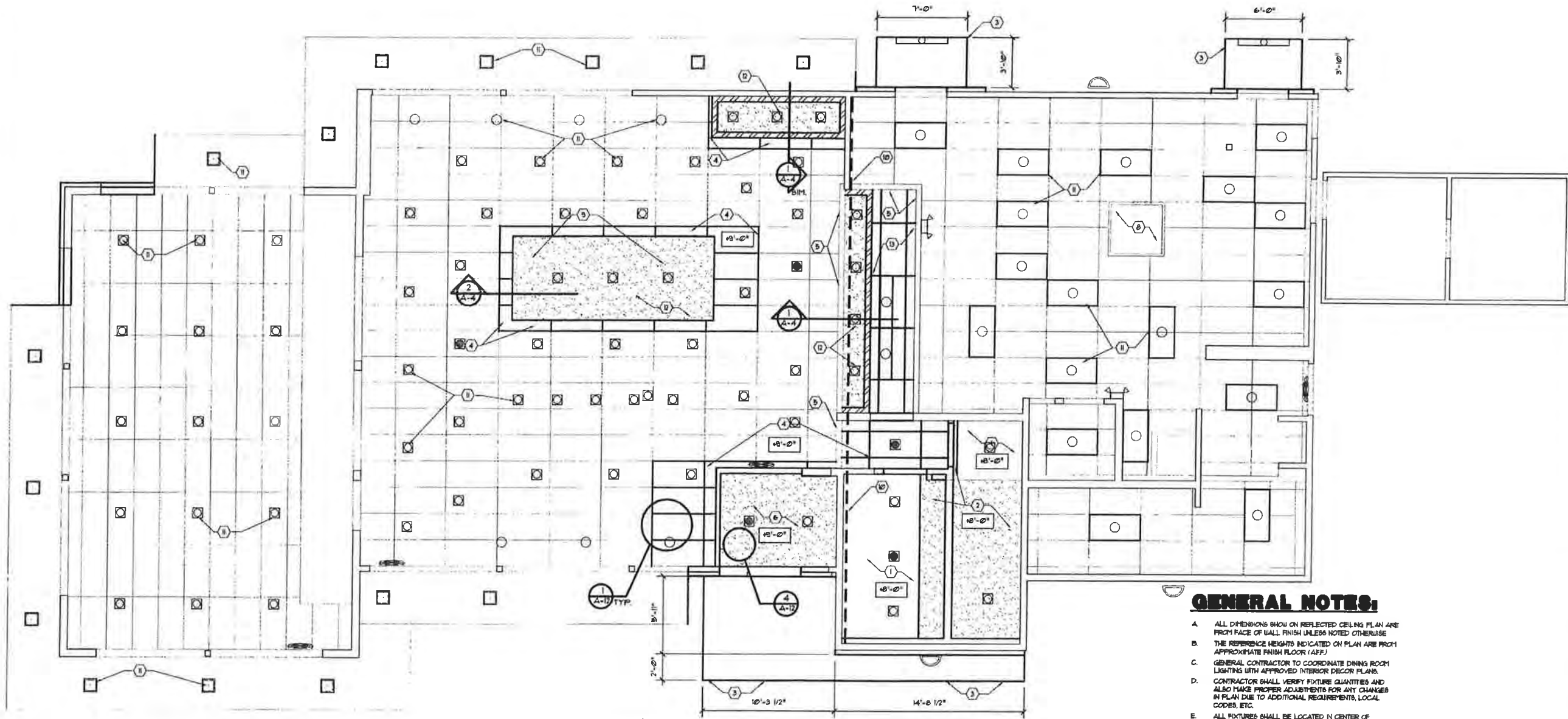
BURGER KING CORPORATION
STORE #118
1902 MOUNTAIN VIEW DRIVE, CODY WYOMING

BUILDING REMODEL FOR:

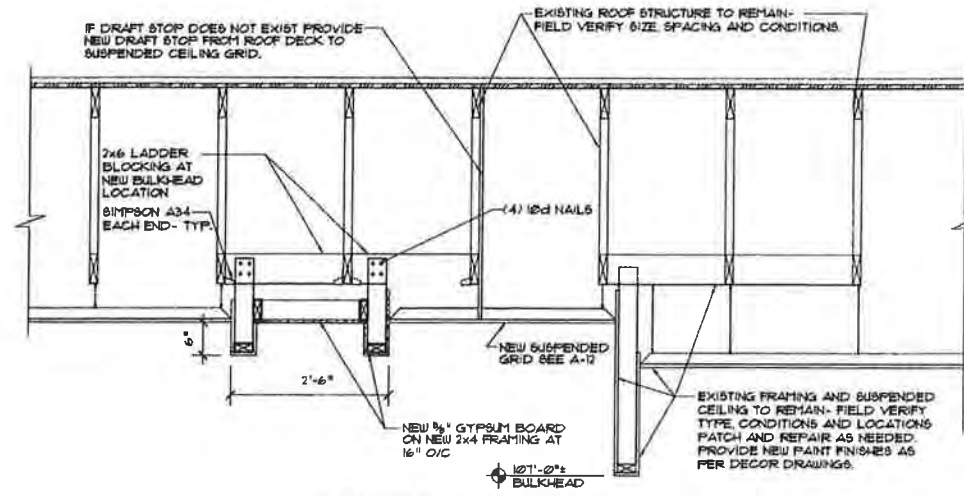
BRIAN D. RUSSELL ARCHITECTS, INC.
12312 SOUTH REDWOOD ROAD
RIVERTON, UTAH 84065
(801) 307-0800 (801) 307-0801 FAX

A-3

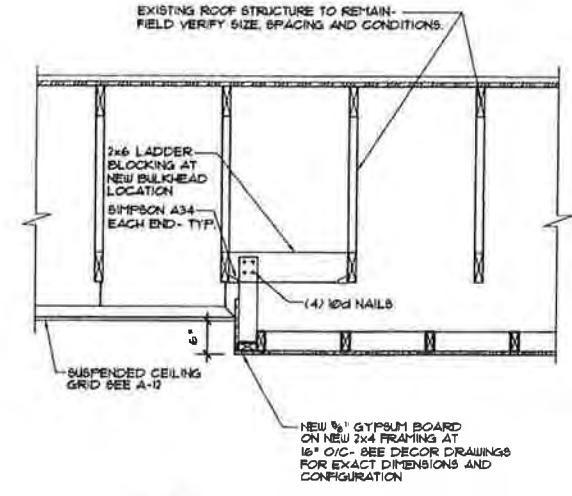
DATE	BY	CHKD
10/1/04		



REVISED CEILING PLAN
SCALE: 1/4" = 1'-0"



1 BULKHEAD DETAIL
SCALE: 3/4" = 1'-0"



2 SOFFIT DETAIL
SCALE: 3/4" = 1'-0"

GENERAL NOTES:

- ALL DIMENSIONS SHOWN ON REFLECTED CEILING PLAN ARE FROM FACE OF WALL FINISH UNLESS NOTED OTHERWISE.
- THE REFERENCE HEIGHTS INDICATED ON PLAN ARE FROM APPROXIMATE FINISH FLOOR (AFF).
- GENERAL CONTRACTOR TO COORDINATE DINING ROOM LIGHTING WITH APPROVED INTERIOR DECOR PLANS.
- CONTRACTOR SHALL VERIFY FIXTURE QUANTITIES AND ALSO MAKE PROPER ADJUSTMENTS FOR ANY CHANGES IN PLAN DUE TO ADDITIONAL REQUIREMENTS, LOCAL CODES, ETC.
- ALL FIXTURES SHALL BE LOCATED IN CENTER OF CEILING TILES UNLESS OTHERWISE NOTED.
- SEE ELECTRICAL DWG'S FOR LIGHTING LAYOUT REQUIREMENTS AND ADDITIONAL INFORMATION.
- FOR FINISH SPECIFICATIONS, REFER TO FINISH SCHEDULE ON ID SHEETS.
- CONTRACTOR TO COORDINATE PENDANT LIGHT LOCATIONS WITH DECOR SUPPLIERS DRAWINGS.

KEYED NOTES:

- EXISTING 1/2" GYPSUM BOARD CEILING - REPAINT.
- PATCH AND REPAIR WITH NEW 1/2" GYPSUM BOARD TO TIE TO EXISTING. PROVIDE NEW PAINT AS PER DECOR DOCUMENTS.
- PREFABRICATED METAL CANOPIES REQUIRED TO STRUCTURE - ALL DETAILS AND INSTALLATION INSTRUCTIONS TO BE PROVIDED BY MANUFACTURER.
- NEW TILE IN NEW SUSPENDED CEILING GRID. TIE TO EXISTING. SEE DECOR DRAWINGS FOR ADDITIONAL INFORMATION INCLUDING MANUFACTURER, STYLE, AND COLOR.
- PROVIDE NEW PAINT ON NEW AND EXISTING FRAMED BULKHEAD - FIELD VERIFY EXISTING CONDITIONS.
- NEW 1/2" SUSPENDED GYPSUM BOARD CEILING. SEE DRAWING A-12.
- 1/2" GYPSUM BOARD OVER 2x4 BULKHEAD FRAMING AT 16" O.C. SEE DETAIL AND DECOR DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING HOOD TO REMAIN. FIELD VERIFY EXACT LOCATION.
- LAMINATED SOFFIT - SEE DECOR DRAWINGS FOR ADDITIONAL INFORMATION.
- PROVIDE ONE LAYER 1/2" GYPSUM BOARD DRAFT STOP FROM CEILING GRID TO ROOF DECK AT THIS GENERAL LOCATION (SHOWN DASHED). GYPSUM BOARD MAY BE ATTACHED TO FACE OF EXISTING ROOF TRUSS NOTE TO CONTRACTOR - DRAFT STOP MAY EXIST - FIELD VERIFY FOR CONDITION.
- NEW LIGHTING - SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 1/2" GYPSUM BOARD OVER 2x4 CEILING SOFFIT FRAMING AT 16" O.C. SEE DETAIL AND DECOR DRAWINGS FOR ADDITIONAL INFORMATION.
- SUSPENDED ACOUSTICAL TILE CEILING. USE 24x24x5/8" GYPSUM CEILING TILES 5210 (STIFFLE FINISH, WASHABLE) TO BE LAID IN EXPOSED WHITE ALUMINUM TEE GRID (NOT FIRE RATED CEILING).

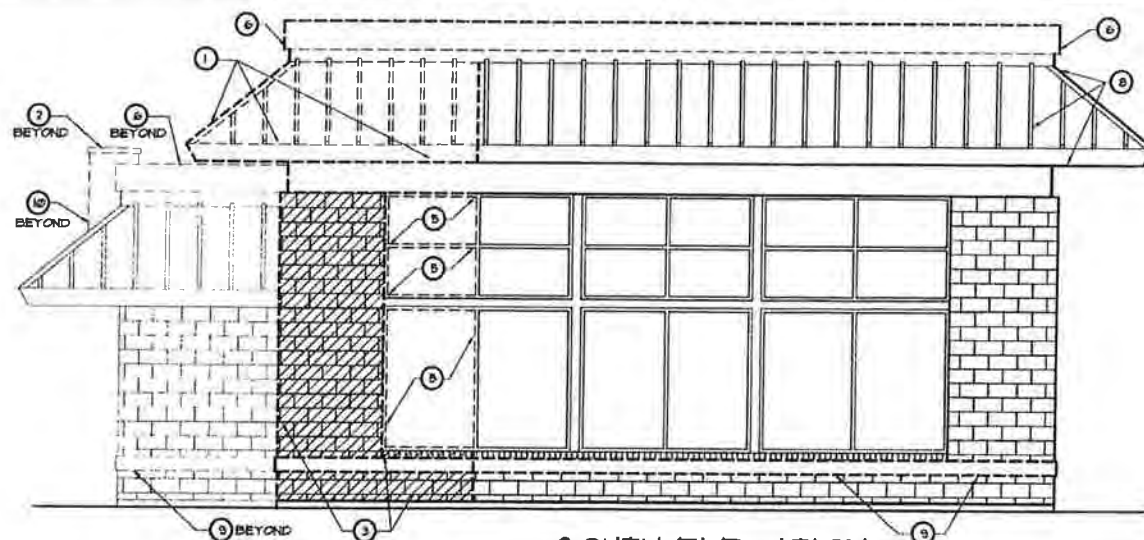
BRIAN D. RUSSELL
ARCHITECTS, INC.
12312 SOUTH REDWOOD ROAD
RIVERKTON, UTAH 84065
(801) 302-0800 (801) 307-0801 FAX

BURGER KING
CORPORATION
13022 MOUNTAINVIEW DRIVE, CODY WYOMING
STORE #118

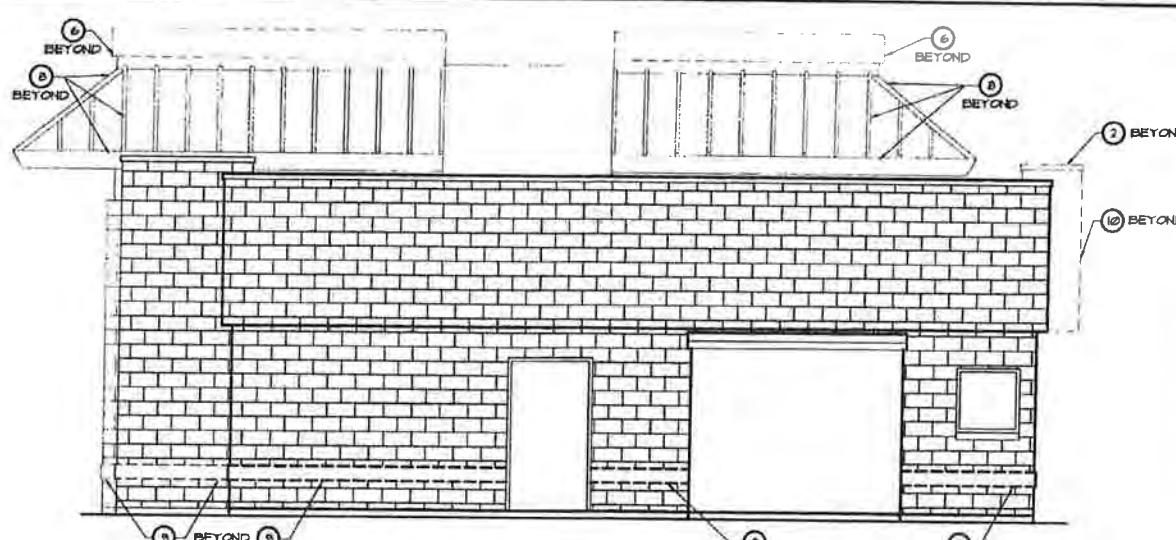
REVISED CEILING PLAN

A-4

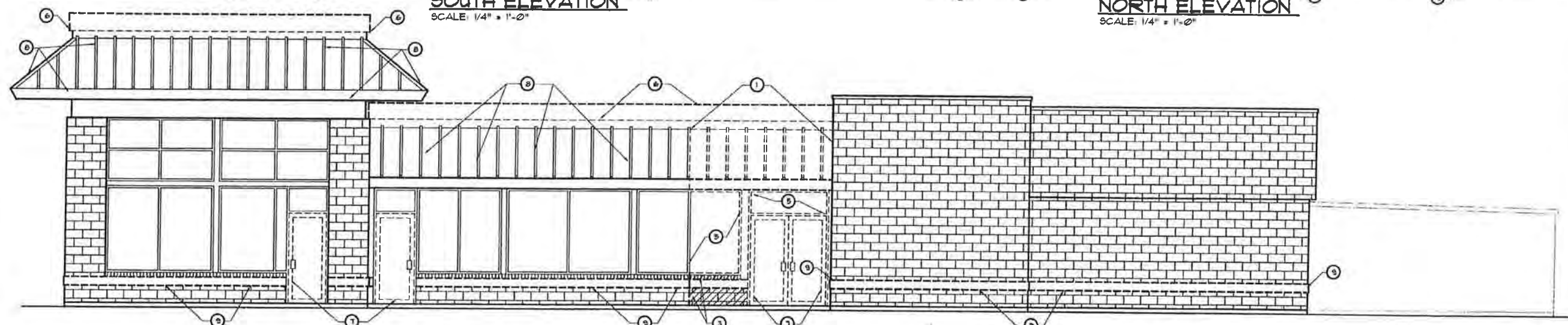
NO.	DATE	DESCRIPTION
1	8/2/14	
2		
3		



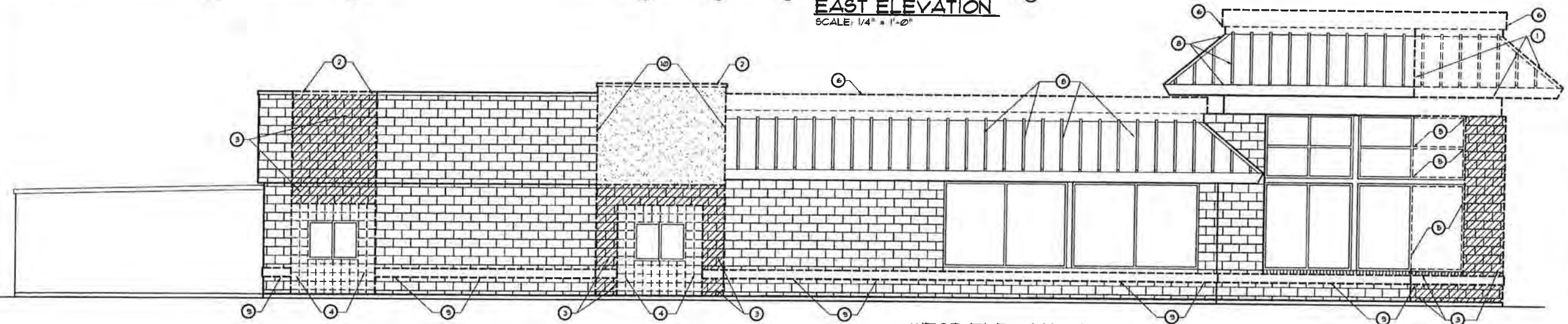
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"

KEYED DEMOLITION NOTES

- | | |
|---|---|
| <p>1 REMOVE PORTION OF EXISTING HANGARD ROOF FRAMING SHOWN DASHED. PREP FOR NEW TOWER FRAMING. SEE DRAWING A-6 FOR ADDITIONAL INFORMATION.</p> <p>2 REMOVE EXISTING CAP FLASHING COMPLETE. PREP FOR NEW CONSTRUCTION OR FINISHES. FIELD VERIFY EXACT CONDITIONS.</p> <p>3 REMOVE EXISTING EXTERIOR 4" MASONRY VENEER IN AREAS SHOWN HATCHED. SEE DRAWING A-6 FOR ADDITIONAL INFORMATION.</p> <p>4 REMOVE EXISTING CERAMIC TILE FINISH AT DRIVE THRU WINDOW AREAS COMPLETE. SEE DRAWING A-6 FOR ADDITIONAL INFORMATION.</p> <p>5 REMOVE PORTION OF EXISTING ALUMINUM STOREFRONT FRAME AND GLAZING SHOWN DASHED. FIELD VERIFY EXISTING CONDITIONS AND LOCATION. SEE DRAWING A-6 FOR NEW FINISHES.</p> <p>6 REMOVE EXISTING LIGHT BAND COMPLETE. SEE DRAWING A-6 FOR ADDITIONAL INFORMATION.</p> | <p>7 REMOVE EXISTING DOOR COMPLETE. SEE DRAWING A-6 FOR ADDITIONAL INFORMATION.</p> <p>8 REMOVE EXISTING STANDING BEAM METAL ROOFING COMPLETE. PREP FOR NEW PANELS. SEE DRAWING A-6 FOR ADDITIONAL INFORMATION.</p> <p>9 REMOVE EXISTING METAL WAINSCOT ACCENT BAND COMPLETE. FIELD VERIFY SIZE AND CONDITIONS.</p> <p>10 REMOVE EXISTING ROOF BUMP OUT COMPLETE. FIELD VERIFY EXACT LOCATION, SIZE AND CONDITIONS. SEE DRAWING A-6 FOR ADDITIONAL INFORMATION.</p> |
|---|---|

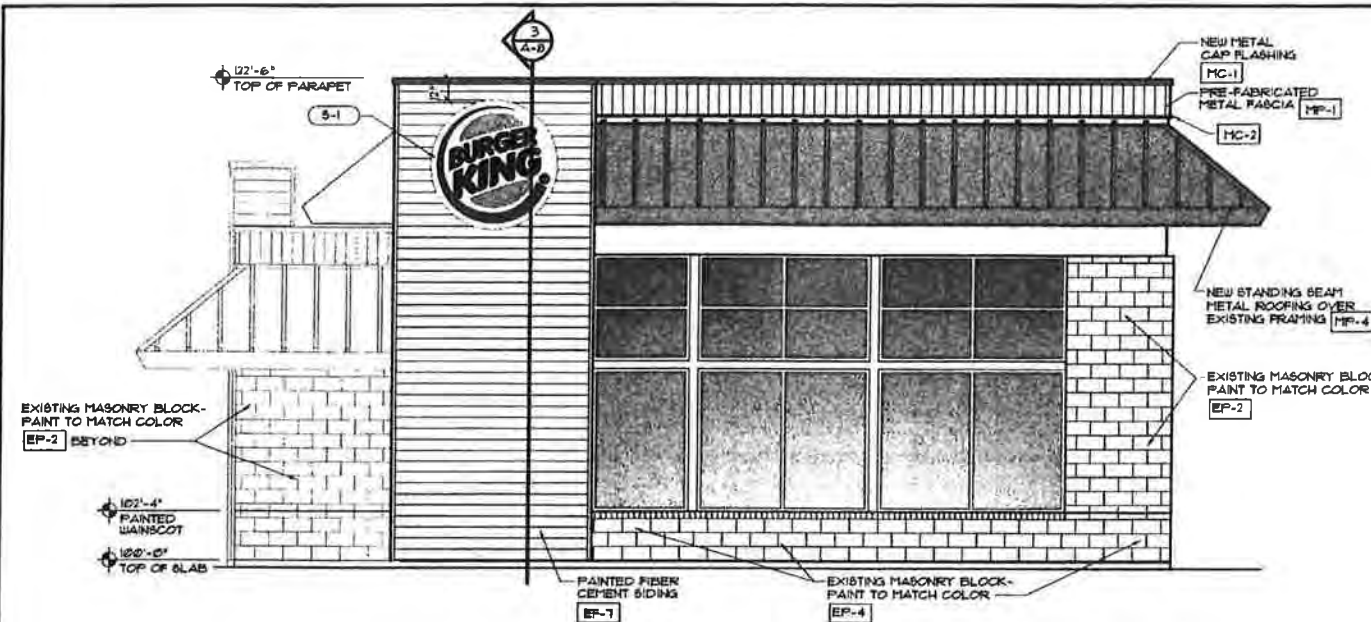
BRIAN D. RUSSELL
ARCHITECTS, INC.
12312 SOUTH REDWOOD ROAD
RIVERTON, UTAH 84065
(801) 307-0600 (801) 307-0601 FAX

BUILDING REMODEL FOR:
BURGER KING
CORPORATION
STORE #118
1902 MOUNTAIN VIEW DRIVE, CODY WYOMING

EXISTING EXTERIOR
DEMOLITION ELEVATIONS

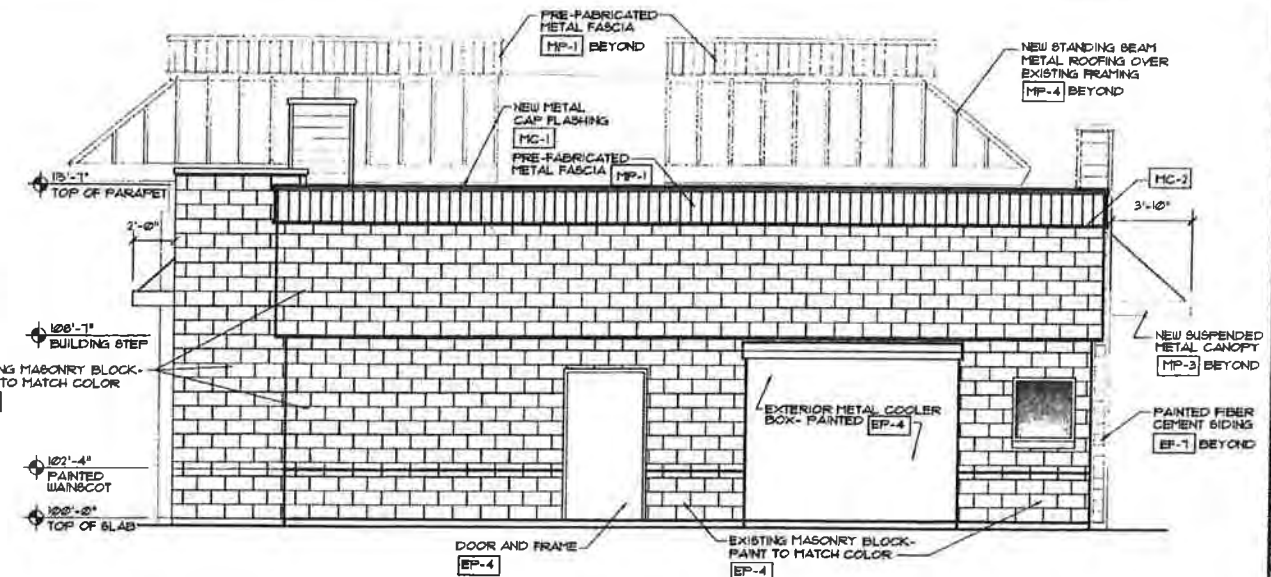
A-5

DATE	BY
8/27/14	



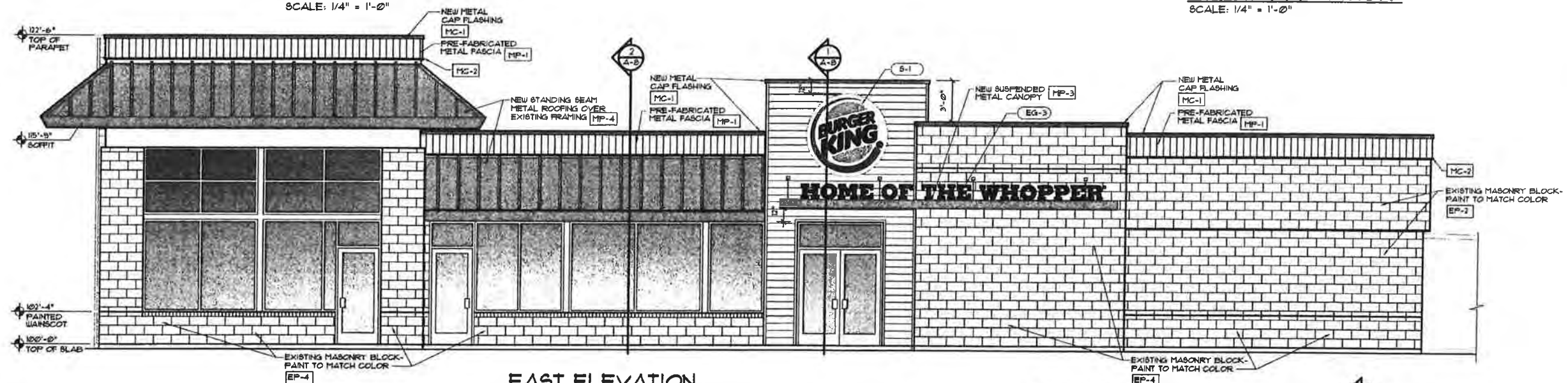
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"

NOTE: ALL FINISHES AS PER 2020 FINISH SCHEDULE

BRIAN D. RUSSELL
ARCHITECTS, INC.
12312 SOUTH REDWOOD ROAD
RIVERTON, UTAH 84065
(801) 307-0800 (801) 307-0801 FAX

BUILDING REMODEL FOR:
BURGER KING
CORPORATION
1902 MOUNTAIN VIEW DRIVE, CODY WYOMING
STORE #118

REVISED ELEVATIONS

A-6

NO.	DATE	DESCRIPTION
1	8/17/14	
2		
3		

BURGER KING- 20/20 PROTOTYPE						
EXTERIOR MATERIALS & FINISH SCHEDULE						
11/1/2011	CODE	MATERIAL	LOCATION	MANUFACTURER	DESCRIPTION	ADDITIONAL INFORMATION
					PRODUCT COLOR DIMENSION	
	EB-1	EXTERIOR BRICK	GENERAL	OWENSBORO BRICK	MOD / Q5 TUMBLED (FULL BRICK OR THIN BRICK MAY BE USED)	OLD HILLSBORO
	EB-1A (ALT)	EXTERIOR BRICK	GENERAL	PINE HALL BRICK	FACE BRICK	OLD IRVINGTON Q/S
	ECT-1	EXTERIOR CERAMIC TILE	ACCENT AT BUILDING FRONT	DALTILE	NATURAL HUES	#QH77 SCARLET 6" X 12"
	ECT-2	EXTERIOR CERAMIC TILE	ACCENT AT BUILDING FRONT	DALTILE	NATURAL HUES	#QH77 SCARLET Q1665 BULLNOSE 6" X 6"
	EF-1	EXTERIOR FINISH STUCCO	GENERAL	STO OR APPROVED EQUAL	STO POWERWALL STUCCO SYSTEM TEXTURE :FINE SAND	COLOR TO MATCH GLIDDEN PROFESSIONAL MASTER PALETTE #20YY 41/165 CAMEL TAN
	EF-2	EXTERIOR FINISH STUCCO	GENERAL	STO OR APPROVED EQUAL	STO POWERWALL STUCCO SYSTEM TEXTURE :FINE SAND	STUCCO OR STO MUST BE PAINTED TO MATCH EP-5
	EF-4	EXTERIOR FINISH STUCCO	GENERAL	STO OR APPROVED EQUAL	STO POWERWALL STUCCO SYSTEM TEXTURE :FINE SAND	COLOR TO MATCH GLIDDEN PROFESSIONAL MASTER PALETTE #10YY 14/080 MONTEREY CLIFFS
	EF-5	EXTERIOR FINISH STUCCO	GENERAL	STO OR APPROVED EQUAL	STO POWERWALL STUCCO SYSTEM TEXTURE :FINE SAND	COLOR TO MATCH GLIDDEN PROFESSIONAL MASTER PALETTE #04YR 11/537 AMAZING
	EF-7	EXTERIOR FINISH FIBER CEMENT SIDING	EXTERIOR SIGN ARCHONS	JAMES HARDIE	HARDIPLANK LAP SIDING 7-1/4" SMOOTH FINISH WITH 6-1/4" EXPOSURE TRIM IS 1 X 6 DIMENSIONAL HARDIPLANK LUMBER RIPPED IN HALF	COLOR TO MATCH EP-5
	EP-1	EXTERIOR PAINT	METAL PANEL MP-1	PPG	CORAFLO AD5 ** FACTORY APPLIED	FACTORY FINISH TO MATCH GLIDDEN PROFESSIONAL MASTER PALETTE #04YR 11/537 AMAZING
	EP-2	EXTERIOR PAINT	EXTERIOR GENERAL	GLIDDEN PROFESSIONAL	PRIMER: HYDROSEALER EXTERIOR PRIMER SEALER 6001-1200 PAINT: FORTIS 350 EXTERIOR 100% ACRYLIC SATIN FINISH 2402V-XXXX	MASTER PALETTE #20YY 41/165 CAMEL TAN
	EP-3	EXTERIOR PAINT	EXTERIOR ACCENT		PRIMER: HYDROSEALER EXTERIOR PRIMER SEALER 6001-1200 PAINT: #3002-0500N LIFEMASTER ACCENTS INTERIOR/EXTERIOR EGGSHELL/SATIN	MASTER PALETTE #04YR 11/537 AMAZING
	EP-4	EXTERIOR PAINT	EXTERIOR WAINSCOT		PRIMER: HYDROSEALER EXTERIOR PRIMER SEALER 6001-1200 PAINT: FORTIS 350 EXTERIOR 100% ACRYLIC SATIN FINISH 2402V-XXXX	MASTER PALETTE #10YY 14/080 MONTEREY CLIFFS
	EP-5	EXTERIOR PAINT	EXTERIOR GENERAL		PRIMER: HYDROSEALER EXTERIOR PRIMER SEALER 6001-1200 PAINT: FORTIS 350 EXTERIOR 100% ACRYLIC SATIN FINISH 2402V-XXXX	MASTER PALETTE #00NN 07/000 DEEP ONYX
	EP-6	EXTERIOR PAINT	EXTERIOR ACCENT (For Metal Substrates Only)		PRIMER: DEVCO COATINGS DEVGUARD LOW VOC UNIVERSAL PRIMER 4360-1000(WHITE) PAINT: DEVCO COATINGS DEVGUARD PURE ALUMINIUM FINISH 4308-9020	GLIDDEN PROFESSIONAL PURE ALUMINIUM BURGER KING SILVER
	EP-2	EXTERIOR PAINT	EXTERIOR GENERAL		PRIMER: PITT-GLAZE INTERIOR/EXTERIOR ACRYLIC BLOCK FILLER #16-90 PAINT: SPEEDHIDE EXTERIOR 100% ACRYLIC SATIN FINISH 6-2045 SERIES	ACT-15 ANTELOPE
	EP-3	EXTERIOR PAINT	EXTERIOR ACCENT	PPG	PRIMER: PITT-GLAZE INTERIOR/EXTERIOR ACRYLIC BLOCK FILLER #16-90 PAINT: SPEEDHIDE EXTERIOR 100% ACRYLIC SATIN FINISH 6-2045 SERIES	VC-234-7 RED LICORICE
	EP-4	EXTERIOR PAINT	EXTERIOR WAINSCOT		PRIMER: PITT-GLAZE INTERIOR/EXTERIOR ACRYLIC BLOCK FILLER #16-90 PAINT: SPEEDHIDE EXTERIOR 100% ACRYLIC SATIN FINISH 6-2045 SERIES	VC-521-6 GRANITE
	EP-5	EXTERIOR PAINT	EXTERIOR GENERAL		PRIMER: PITT-GLAZE INTERIOR/EXTERIOR ACRYLIC BLOCK FILLER #16-90 PAINT: SPEEDHIDE EXTERIOR 100% ACRYLIC SATIN FINISH 6-2045 SERIES	VC-518-7 BLACK MAGIC
	EP-6	EXTERIOR PAINT	EXTERIOR ACCENT (For Metal Substrates Only)		PRIMER: PITT-GLAZE INTERIOR/EXTERIOR ACRYLIC BLOCK FILLER #16-90 PAINT: SPEEDHIDE EXTERIOR 100% ACRYLIC SATIN FINISH 6-2045 SERIES	VC-518-4 FLAGSTONE
	EGR-1	GROUT	BRICK	FLAMINGO-BRIXMENT	COLOR CEMENT	B-12 NATURAL BUFF
	EGR-2	GROUT	CERAMIC TILE	CUSTOM BUILDING PRODUCTS	POLYBLEND SANDED	#60 CHARCOAL
	MC-1	METAL COPING	TOP OF LIGHT BAND WALL CAP	W.P. HICKMAN SYSTEMS, INC.	PERMA SNAP PLUS	A-30 SILVERSMITH
	MC-2	METAL COPING	BELOW LIGHT BAND	W.P. HICKMAN SYSTEMS, INC.	PERMA SNAP PLUS	FACTORY FINISH TO MATCH ICI PAINT #20YY 41/165 CAMEL TAN
	MC-3	METAL COPING	TOP OF ARCHON	W.P. HICKMAN SYSTEMS, INC.	PERMA SNAP PLUS	FACTORY FINISH TO MATCH ICI PAINT #00NN 07/000 DEEP ONYX
	MP-1	CORRUGATED METAL	PARAPET BAND	LEKTRON *SEE APPROVED SIGN SUPPLIERS	LED LIGHT BAND	FACTORY FINISH TO MATCH EP-1
	MP-3	METAL CANOPY	ABOVE DOORS	*SEE APPROVED CANOPY SUPPLIERS	CUSTOM METAL CANOPY	COLOR: CLEAR ANODIZED
	MP-4	METAL AWNING/ SSM ROOFING	ABOVE WINDOWS/ MANSARD ROOFING	FIRESTONE	STANDING SEAM METAL ROOF	SILVER METALLIC SR
	MP-4	METAL AWNING/ SSM ROOFING	ABOVE WINDOWS/ MANSARD ROOFING	METAL PRODUCTS BERRIDGE ROOFING	STANDING SEAM METAL ROOF	PREMIUM METALLIC - ZINC COTE
	MP-5	METAL PANEL	BELOW DRIVE THROUGH WINDOW	METAL PRODUCTS CENTRIA	CONCEPT SERIES CS200E	9946 SILVERSMITH
	MP-7	CORRUGATED METAL PANEL	EXTERIOR SIGN ARCHONS	CENTRIA	CONCEPT SERIES CS260E	9916 RICH BLACK

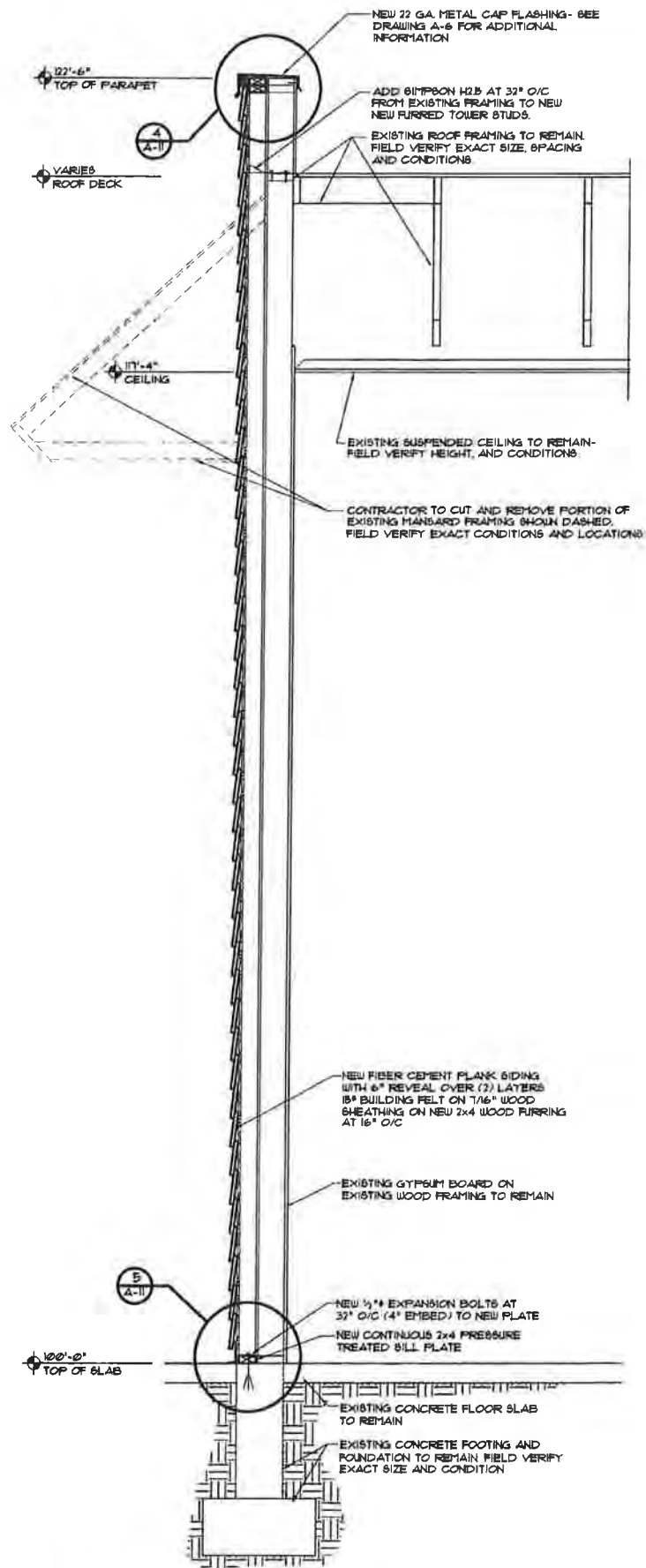
BRIAN D. RUSSELL
ARCHITECTS, INC.
 12312 SOUTH REDWOOD ROAD
 RIVERTON, UTAH 84065
 (801) 307-0800 (801) 307-0801 FAX

BUILDING REMODEL FOR:
BURGER KING
CORPORATION
 STORE #118
 1902 MOUNTAIN VIEW DRIVE, CODY WYOMING

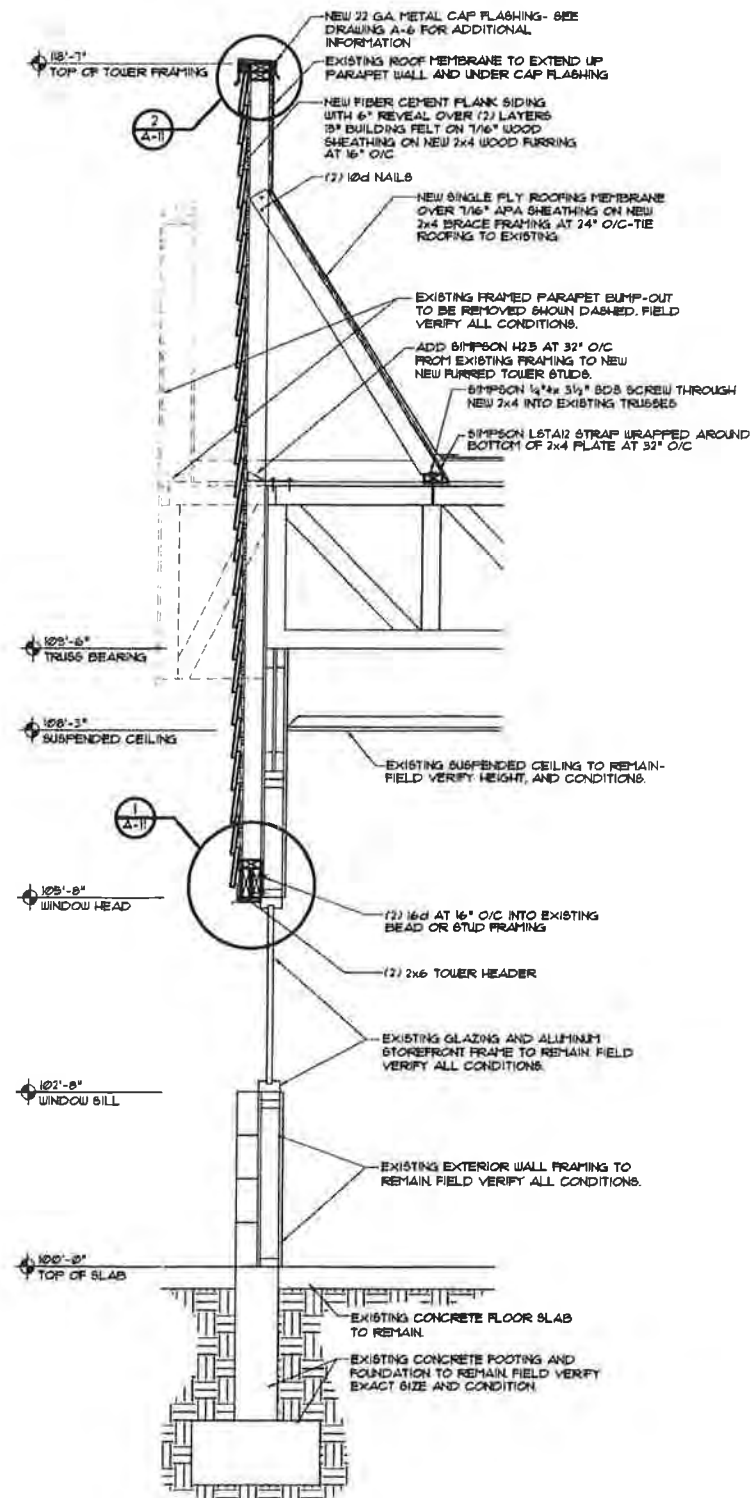
EXTERIOR
COLOR SCHEDULE

A-7

DATE	8/2/04
BY	
CHECKED	
DATE	



1 WALL SECTION
SCALE: 3/4" = 1'-0"



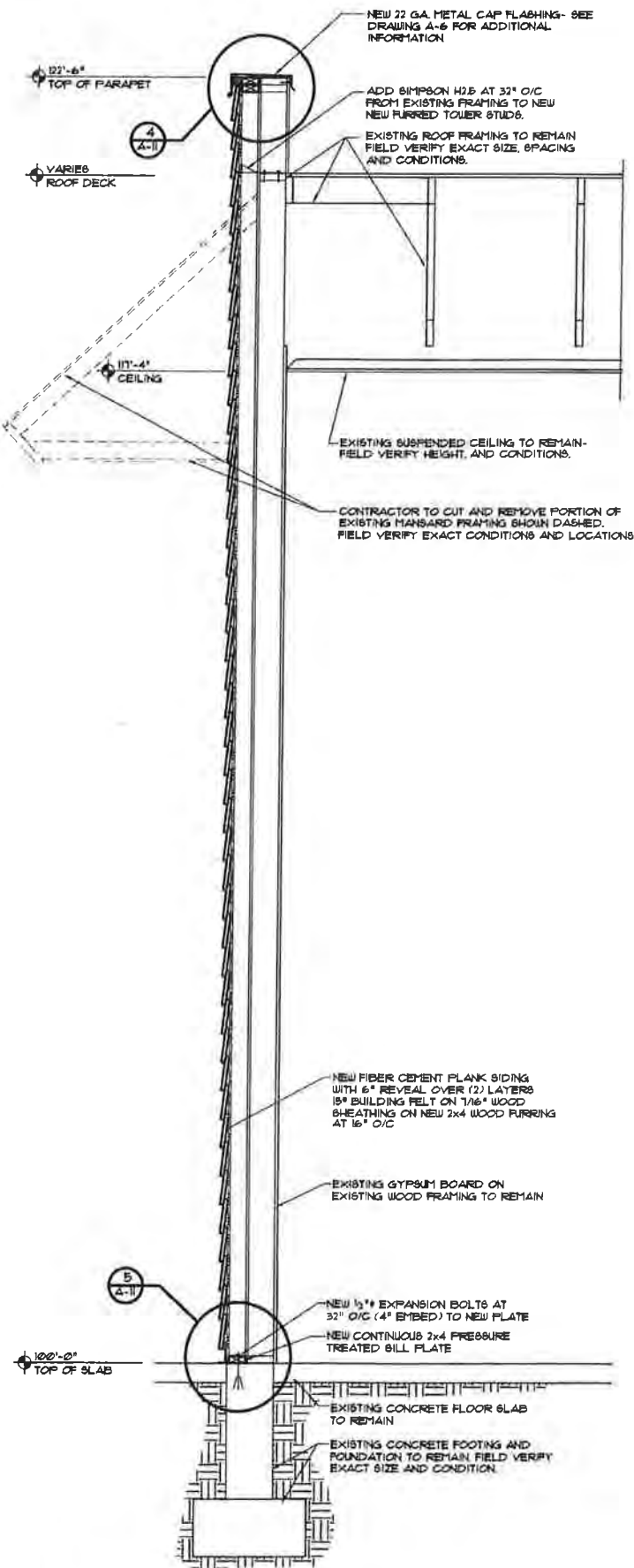
2 WALL SECTION
SCALE: 3/4" = 1'-0"

BRIAN D. RUSSELL
ARCHITECTS, INC.
12312 SOUTH REDWOOD ROAD
RIVERTON, UTAH 84065
(801) 307-0800 (801) 307-0801 FAX

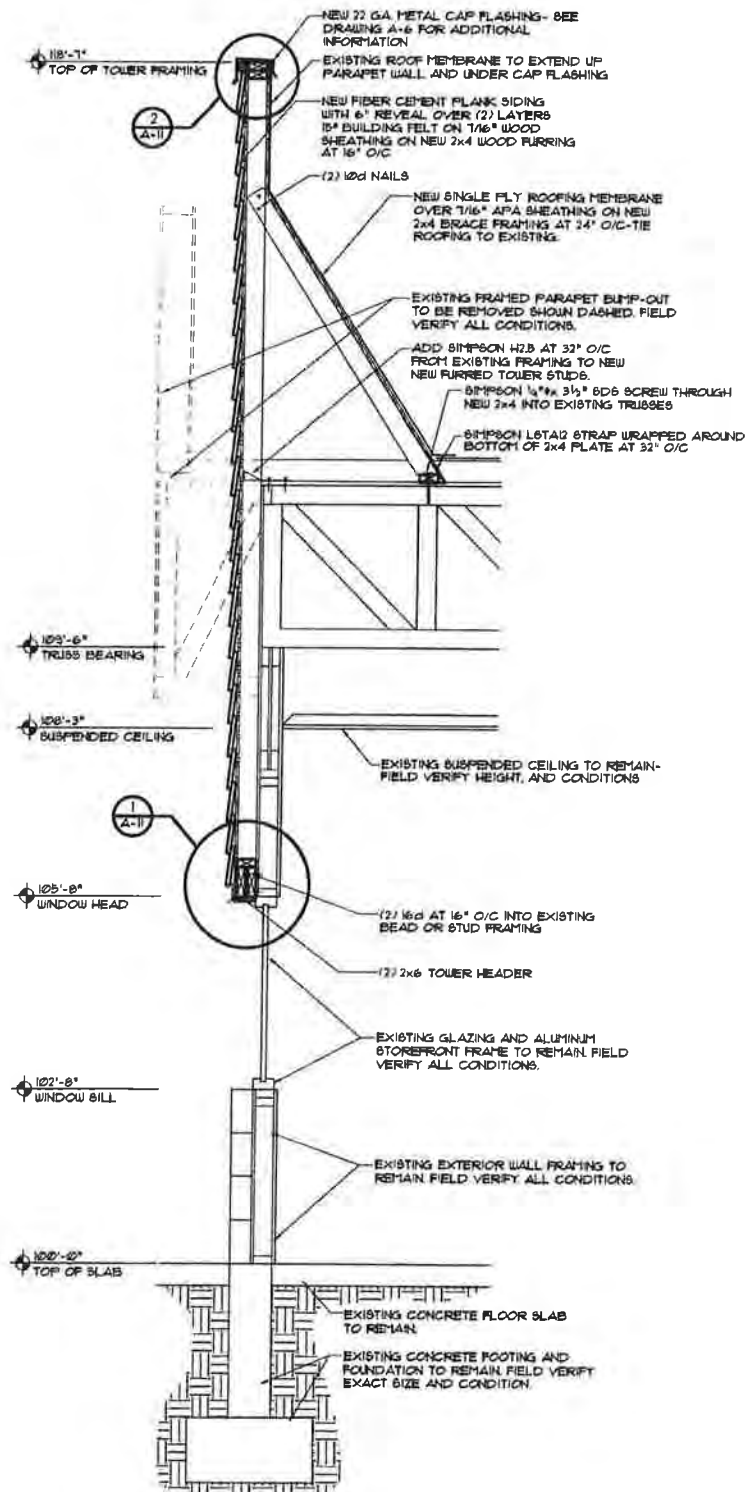
BUILDING REMODEL FOR:
BURGER KING
CORPORATION
1302 MOUNTAIN VIEW DRIVE, CODY WYOMING

WALL SECTIONS

NO.	DATE	REVISION
1	8/21/14	
2		
3		
4		



1 WALL SECTION
SCALE 3/4" = 1'-0"



2 WALL SECTION
SCALE 3/4" = 1'-0"

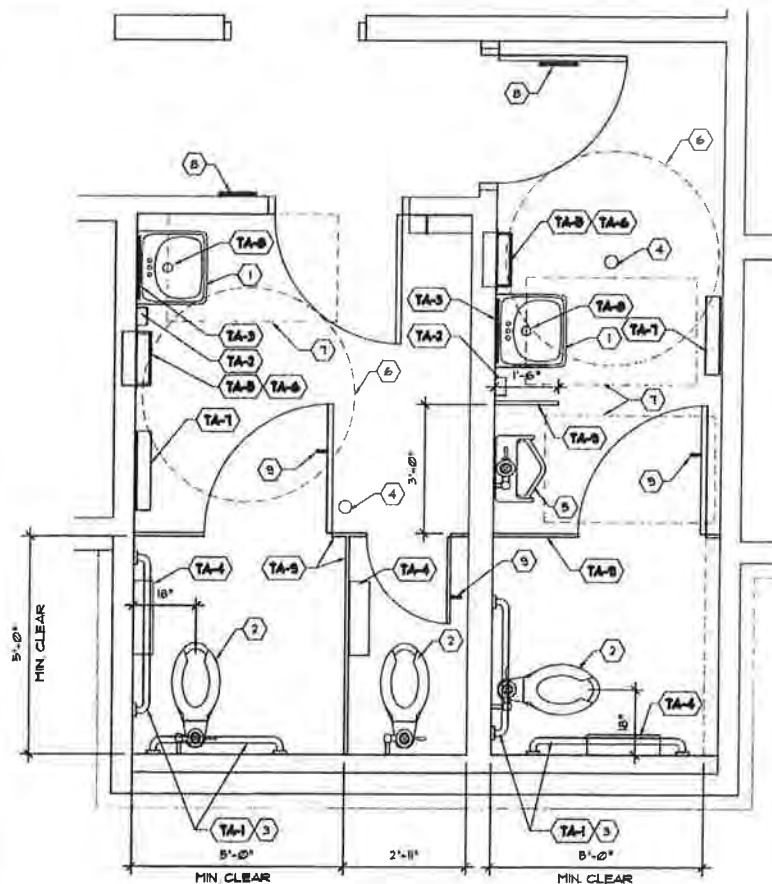
BRIAN D. RUSSELL
ARCHITECTS, INC.
12312 SOUTH REDWOOD ROAD
RIVERTON, UTAH 84065
(801) 307-0800 (801) 307-0801 FAX

BUILDING REMODEL FOR:
BURGER KING
CORPORATION
STORE #118
15002 MOUNTAIN VIEW DRIVE, CODY WYOMING

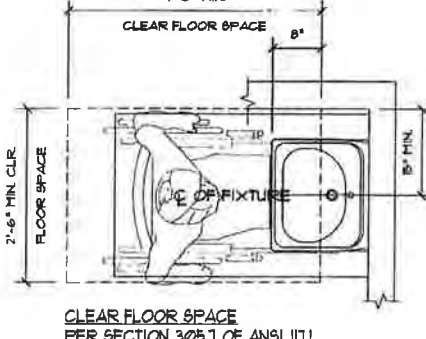
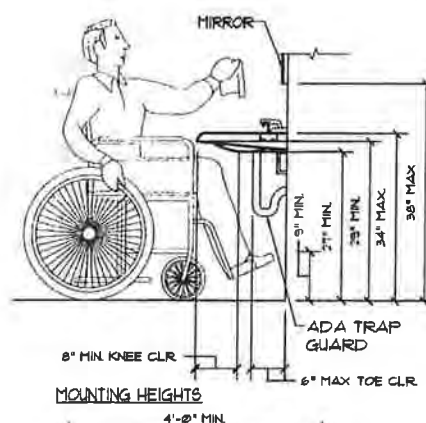
WALL SECTIONS

A-9

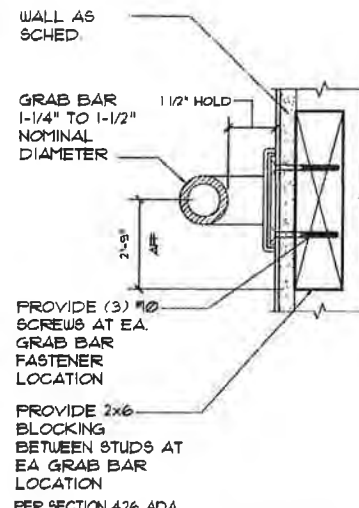
NO.	DATE	REVISION
1	1/25/04	



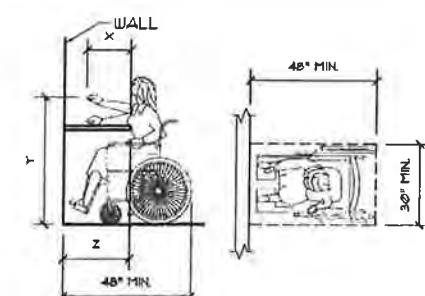
1 ENLARGED RESTROOM PLAN
SCALE: 1/2" = 1'-0"



LAVATORY CLEARANCE DETAIL
3/8" = 1'-0"



TYPICAL GRAB BAR DTL
3/8" = 1'-0"



STANDARD MOUNTING HEIGHTS FOR RESTROOM FIXTURES
3/8" = 1'-0"

GENERAL NOTES:

- A. FOR INTERIOR FINISHES, REFER TO FINISH ID SHEETS.
- B. PLUMBING FIXTURES TO BE PROVIDED BY G.C.
- C. ALL PLUMBING FIXTURES, FAUCETS, AND ACCESSORIES TO BE ADA COMPLIANT.
- D. ALL EXPOSED PIPING UNDER LAVATORIES TO BE INSULATED TO PROTECT CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES. INSULATION SHALL BE 1/2" THICK "AEROTUBE" AS PRODUCED BY JOHNS-MANVILLE OR EQUAL.
- E. CONTRACTOR TO PROVIDE BLOCKING FOR ACCESSORY MOUNTING AS REQUIRED.
- F. RESTROOM DESIGN TO MEET MEC 2101 AND 12102 AND COMPLY WITH ICC/ANSI 117.1, 2003.
- G. FLUSH CONTROLS ARE TO BE HAND OPERATED OR AUTOMATIC FLUSH - SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION. CONTROLS SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET.
- H. PROVIDE R-11 SOUND INSULATION IN ALL RESTROOM WALLS - TYPICAL.

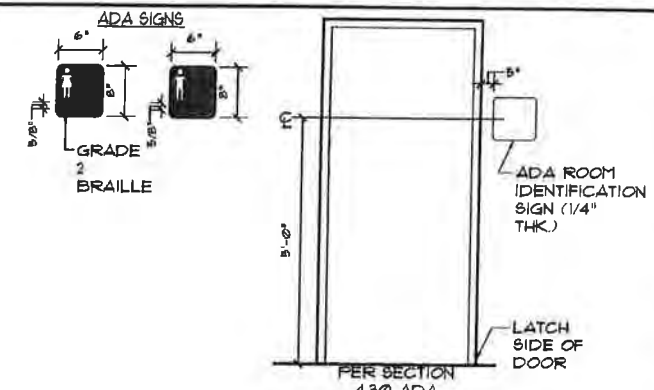
SHEET NOTES

- 1. WALL MOUNTED SINK. REFER TO DETAILS FOR HEIGHT AND CLEARANCE INFORMATION.
- 2. NEW H/C WATER CLOSET. REFER TO DETAIL FOR HEIGHT AND CLEARANCE INFORMATION.
- 3. ADA COMPLIANT GRAB BARS PROVIDE BLOCKING IN WALLS.
- 4. FLOOR DRAIN - FIELD VERIFY EXACT LOCATION.
- 5. NEW URINAL. REFER TO DETAIL FOR HEIGHT, AND CLEARANCE INFORMATION.
- 6. 60" TURN RADIUS FOR ADA COMPLIANCE.
- 7. REQUIRED ADA PLUMBING FIXTURE CLEARANCE.
- 8. ADA RESTROOM SIGNAGE. REFER TO DETAIL THIS SHEET.
- 9. BOBRICK COAT HOOK MODEL TB-6116 - SUPPLIED AND INSTALLED BY G.C. - INSTALL ON TOILET SIDE OF DOOR.

NOTE: SEE STANDARD MOUNTING HEIGHTS DETAIL THIS SHEET FOR PROPER MOUNTING AND PLACEMENT OF RESTROOM FIXTURES AND ACCESSORIES.

TOILET ACCESSORIES

- TA-1 GRAB BAR - 250 LBF. MINIMUM 33" MIN. - 36" MAX. HEIGHT TO THE TOP OF THE GRIPPING SURFACE. BOBRICK WASHROOM EQUIPMENT, INC. PROVIDE THE REQUIRED QUANTITY AND LENGTH AS INDICATED ON THE DRAWINGS OR AS REQUIRED BY THE GOVERNING CODE. THE BAR SHALL BE 1 1/2" IN DIAMETER AND MOUNTED WITH 1 1/2" CLEARANCE FROM THE WALL.
- TA-2 WALL MOUNTED SOAP DISPENSER & HAND SANITIZER DISPENSER (36" MAXIMUM HEIGHT) SUPPLIED AND INSTALLED BY G.C.
- TA-3 MIRROR (BOTTOM OF REFLECTIVE SURFACE AT 40" MAXIMUM HEIGHT) MODEL B-165-1836 (18"x36") STAINLESS STEEL CHANNEL FRAME MIRROR WITH THEFT RESISTANT SCREWS BY BOBRICK WASHROOM EQUIPMENT, INC. OR APPROVED EQUIVALENT.
- TA-4 TOILET PAPER HOLDER. 9" TWIN JUMBO MODEL B-8250 BY NORTH AMERICAN CORPORATION.
- TA-5 PAPER WASTE RECEPTACLE (REQUIRED) MODEL B-3644 AS MANUFACTURED BY BOBRICK WASHROOM EQUIPMENT, INC. OR APPROVED EQUIVALENT. (ROUGH OPENING 16"W, 25 1/4"H, 4"D MIN).
- TA-6 ELECTRIC HAND DRYER (2 PER ROOM) SUPPLIED BY OWNER AND INSTALLED BY G.C.
- TA-7 HORIZONTAL CHANGING STATION (31"W, 23"H, 4"D) KOALA KARE, KB110-59RE (OPTIONAL).
- TA-8 WRAP ALL DRAIN PIPES PER ADA.
- TA-9 PHENOLIC TOILET PARTITION OR URINAL SCREEN WITH BACKING.



- 1. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND.
- 2. IDENTIFICATION SYMBOLS ARE TO BE ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. MOUNT SIGN SO THAT TACTILE CHARACTERS ARE LOCATED 48" MIN. MEASURED FROM THE BASELINE OF THE LOWEST TACTILE CHARACTER AND 60" MAX. FROM THE BASELINE OF THE HIGHEST TACTILE CHARACTER.
- 3. LETTERS & NUMBERS ON SIGNS SHALL BE RAISED 1/32" MIN. SHALL BE A MIN. OF 5/8" HIGH & SHALL BE SANS-SERIF UPPERCASE CHARACTERS. ADA SIGNAGE ACCOMPANIED BY GRADE 2 BRAILLE.
- 4. REGULATORY SIGNS TO BE TYPICALLY ADA COMPLIANT TACTILE 3-D FLAQUES PER CODE REQUIREMENTS.
- 5. SIGNS TO BE A TYPICAL ONE PIECE INJECTION MOLDED FABRICATION WITH RAISED SECOND SURFACE GRAPHICS.
- 6. SIGN TO BE A CUSTOM COLOR TO MATCH FMS 262C WITH WHITE GRAPHICS.
- 7. BRAILLE SHOWN IS FOR PLACEMENT ONLY. USE CORRECT BRAILLE FOR SIGN PRODUCTION.
- 8. 3D TACTILE FLAQUES CAN BE OBTAINED FROM: AMERICRAFT CORPORATION (SIGN LANGUAGE) 904 4TH STREET WEST PALMETTO, FL 34221 PH# 1-800-237-3984 FAX: 1-813-723-2452

ADA RESTROOM SIGNAGE

3/8" = 1'-0"

BRIAN D. RUSSELL ARCHITECTS, INC.
12312 SOUTH REDWOOD ROAD
RIVERTON, UTAH 84065
(801) 307-0800 • (801) 307-0801 FAX

BURGER KING CORPORATION
BUILDING REMODEL FOR:
19022 MOUNTAIN VIEW DRIVE, CODY WYOMING

RESTROOM PLAN AND ADA DETAILS

A-10

NO.	DATE	DESCRIPTION
1	8/20/14	

DOOR SCHEDULE													
DOOR DATA						FRAME DATA					HARDWARE	LOCATION	NOTES
DOOR#	OPENING	DOOR THICKNESS	DOOR MATERIAL	DOOR TYPE	GLASS	SIGNAGE SET	FRAME MATERIAL	FRAME TYPE	JAMB DETAIL	HEAD DETAIL	SILL DETAIL		
1	3'-0" x 7'-0" PAIR	1-3/4"	ALUMINUM	1	TEMP.		ALUMINUM					ENTRY	
2	3'-0" x 7'-0" PAIR	1-3/4"	ALUMINUM	1	TEMP.		ALUMINUM					ENTRY	
3	3'-0" x 7'-0"	1-3/4"	SOLID CORE HPL	3		2	ALUMINUM	A	B	A	C	WOMEN'S RESTROOM	
4	3'-0" x 7'-0"	1-3/4"	SOLID CORE HPL	3		2	ALUMINUM	A	B	A	C	MEN'S RESTROOM	
5	3'-0" x 7'-0"	1-3/4"	MARLITE HPL	2	TEMP.		ALUMINUM	A	B	A	C	KITCHEN	12"x12" SQUARE LITE
6	3'-6" x 7'-0"	1-3/4"	ALUMINUM	1	TEMP.	-	EXISTING					DINING	
7	3'-0" x 7'-0"	1-3/4"	ALUMINUM	1	TEMP.	-	EXISTING					PLAY LAND	
8	3'-0" x 7'-0"	1-3/4"	ALUMINUM	1	TEMP.	-	EXISTING					PLAY LAND	

HARDWARE SET #01 ENTRY

OFFSET PIVOTS
ADAMS RITE M6 1052A DEAD BOLT LOCK
NORTON 1601 SURFACE CLOSERS WITH
BACK CHECK
9" "CLASSIC" STRAIGHT DOOR PULLS (IN
POLISHED STAINLESS OR CHROME)
STANDARD ADA APPROVED THRESHOLD

HARDWARE SET #02 EXTERIOR DOOR

OFFSET PIVOTS
DOOR PULL
STANDARD PANIC EXIT HARDWARE
NORTON 1601 SURFACE CLOSERS WITH
BACK CHECK
9" "CLASSIC" STRAIGHT DOOR PULLS (IN
POLISHED STAINLESS OR CHROME)
STANDARD ADA APPROVED THRESHOLD

HARDWARE NOTES

NOT TO SCALE

HARDWARE SET #03 KITCHEN

DOOR TO RECEIVE:
HINGES: 3 EACH HAGER BB075 4 1/2 x 4 1/2 x 652
PUSH PLATE: 1 EACH HAGER 305 4x6 628
PULL PLATE: 1 EACH HAGER 1035 4x6 628
FLOOR STOP: 1 EACH HAGER 14P x US60D
KICK PLATE: 3 EACH HAGER 1035 8x21 LDW 628
SILENCERS: 3 EACH HAGER 3070 RDR
DOOR LITE: 12"x12" TINTED GLASS LITE

HARDWARE SET #04 RESTROOM

EACH DOOR TO RECEIVE:
HINGES: 3 EACH HAGER BB075 4 1/2 x 4 1/2 x 652
CLOSER: 1 EACH LCN 441 X 605
PUSH PLATE: 1 EACH HAGER 305 4x6 628
PULL PLATE: 1 EACH HAGER 1035 4x6 628
FLOOR STOP: 1 EACH HAGER 14P x US60D
KICK PLATE: 3 EACH HAGER 1035 8x21 LDW 628
SILENCERS: 3 EACH HAGER 3070 RDR
NOTE: UNDERCUT DOOR 1" FOR AIR FLOW
WHEN HVAC SUPPLY NOT PROVIDED (REF.
SHEET M-1)

SIGNAGE SET #01 DINING AREA

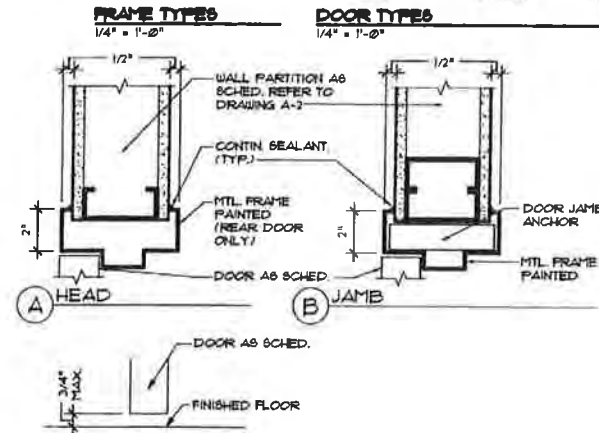
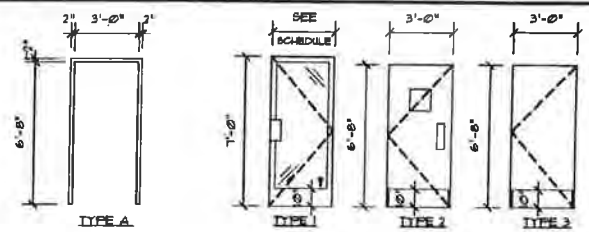
SIGN PACKAGE: 1 "KITCHEN" AND
CORRESPONDING SIGNAGE IN GRADE
TWO BRAILLE PER ADA
REQUIREMENTS. SIGNS FURNISHED BY
DECOR SUPPLIER. SIGNS INSTALLED
BY GENERAL CONTRACTOR PER ADA
REQUIREMENTS.

SIGNAGE SET #02 RESTROOM

SIGN PACKAGE: 1 "LADIES", 1
"GENTLEMEN" AND CORRESPONDING
SIGNAGE IN GRADE TWO BRAILLE PER
ADA REQUIREMENTS. SIGNS FURNISHED
BY DECOR SUPPLIER. SIGNS
INSTALLED BY GENERAL CONTRACTOR
PER ADA REQUIREMENTS.

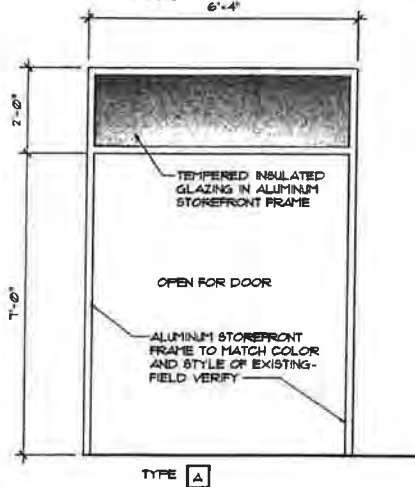
SIGNAGE SETS

NOT TO SCALE



DOOR DETAILS

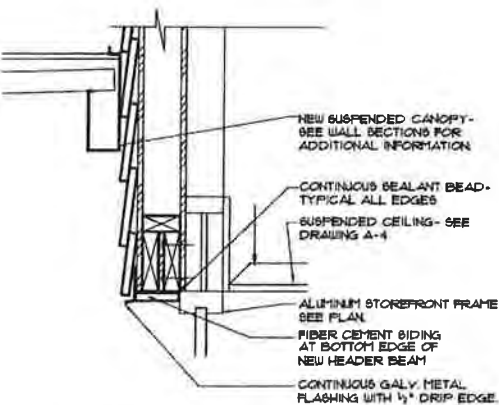
3' x 7'-0" 6'-4"



WINDOW TYPES

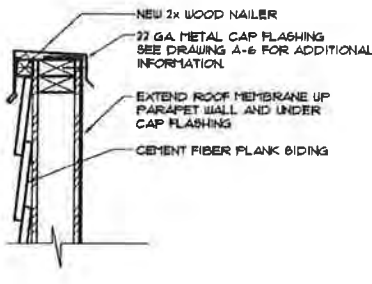
1/2" x 7'-0"

NOTE: ALL EXTERIOR GLAZING TO BE
CLEAR PPG SOLAR BAN 60 INSULATED
GLAZING IN ALUMINUM STOREFRONT FRAME
NOTE: GENERAL CONTRACTOR IS
RESPONSIBLE TO FIELD VERIFY ALL
ROUGH OPENINGS PRIOR TO
ORDERING ALL STOREFRONT WINDOWS
NOTE: ALL EXTERIOR FENESTRATION TO
HAVE A U-FACTOR VALUE OF .45 AND
SHGC OF .40. THIS INCLUDES DOOR TYPE 1
NOTE: AIR LEAKAGE OR INFILTRATION THRU
THE STOREFRONT SHALL BE LIMITED TO
0.6 CFM AT 0.3" WC AS PER IECC
NOTE: THE U-FACTOR WILL BE DETERMINED
PER NFRC 100 BY AN ACCREDITED LABORATORY
AND LABELED AS SUCH BY THE MANUFACTURER.
THE LABELS SHOULD NOT BE REMOVED UNTIL
AFTER INSPECTION.



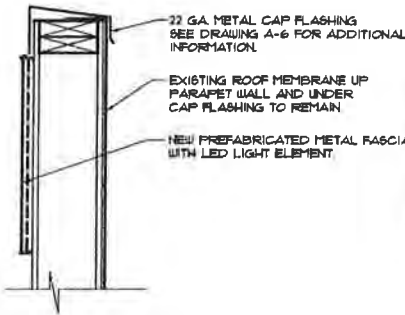
1 STOREFRONT HEAD DETAIL

SCALE: 1/2" = 1'-0"



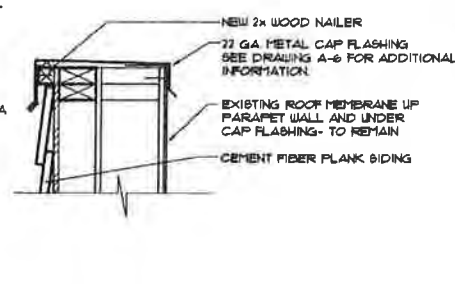
2 PARAPET DETAIL

SCALE: 1/2" = 1'-0"



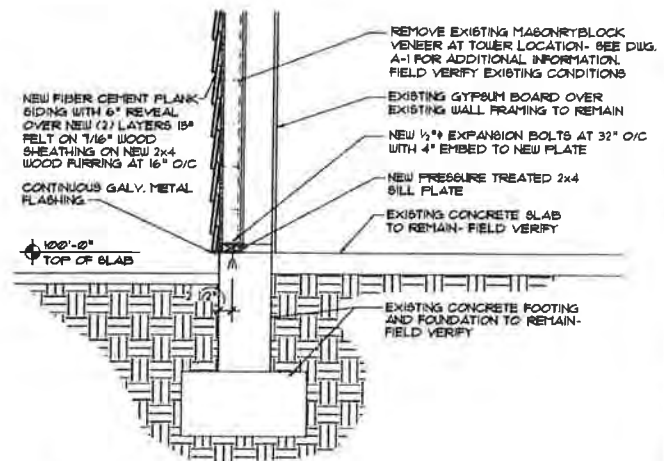
3 PARAPET DETAIL

SCALE: 1/2" = 1'-0"



4 PARAPET DETAIL

SCALE: 1/2" = 1'-0"



5 WALL SILL DETAIL

SCALE: 3/4" = 1'-0"

BUILDING REMODEL FOR:

BURGER KING CORPORATION

1902 MOUNTAIN VIEW DRIVE, CODY WYOMING

BRIAN D. RUSSELL ARCHITECTS, INC.

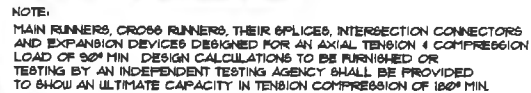
12312 SOUTH REDWOOD ROAD
RIVINGTON, UTAH 84065

(801) 307-0800 FAX

DOOR SCHEDULE

A-11

NO.	DATE	DESCRIPTION
1	05/14	



NOTCHING OF HORIZONTAL STRUTS IS PERMITTED ONLY • INTERSECTIONS WITH MAIN RUNNERS OR CROSS T's.

SUSPENDED CEILING FRAMING SYSTEMS SHALL BE DESIGNED TO RESIST A LATERAL FORCE OF 20% OF THE WEIGHT OF THE CEILING ASSEMBLY AND ANY LOAD TRIBUTARY TO THE SYSTEM FOR PURPOSES OF DETERMINING THE LATERAL FORCE, A MINIMUM CEILING WEIGHT OF 5 POUNDS PER SQUARE FOOT SHALL BE USED.

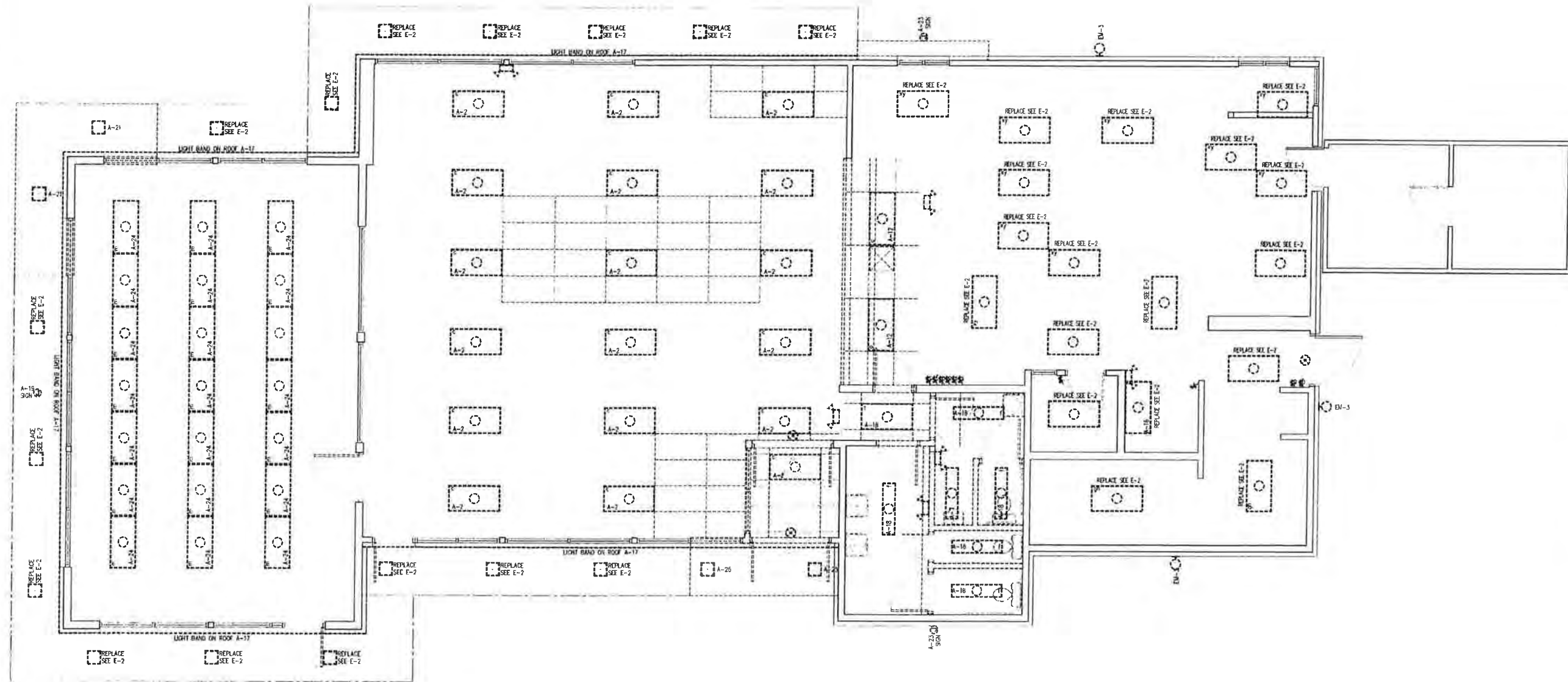
WHERE THE CEILING LOADS DO NOT EXCEED 5 POUNDS PER SQUARE FOOT AND WHERE PARTITIONS ARE NOT CONNECTED TO THE CEILING SYSTEM, THE FOLLOWING BRACING METHOD MAY BE EMPLOYED:

- A. LATERAL SUPPORT MAY BE PROVIDED BY FOUR WIRES OF MINIMUM NO. 12 GAUGE SPLAYED IN FOUR DIRECTIONS 90° APART, AND CONNECTED TO THE MAIN RUNNER WITHIN 2" OF THE CROSS RUNNER AND TO THE STRUCTURE ABOVE AT AN ANGLE NOT EXCEEDING 45° FROM THE PLANE OF THE CEILING. THESE LATERAL SUPPORT POINTS SHALL BE PLACED 12" IN EACH DIRECTION WITH THE FIRST POINT WITHIN 4 FEET FROM EACH WALL.
- B. ALLOWANCE SHALL BE MADE FOR LATERAL MOVEMENT OF THE SYSTEM MAIN RUNNERS AND CROSS RUNNERS MAY BE ATTACHED AT TWO ADJACENT WALLS WITH CLEARANCE BETWEEN THE WALL AND THE RUNNERS MAINTAINED AT THE OTHER TWO WALLS.
- C. VERTICAL SUPPORT SHALL BE PROVIDED AS REQUIRED PER 2017 IBC CODE WITH THE ADDED REQUIREMENT THAT DISCONTINUOUS ENDS OF CROSS RUNNERS AND MAIN RUNNERS BE VERTICALLY SUPPORTED WITHIN 8" OF SUCH DISCONTINUITIES AS MAY OCCUR WHERE THE CEILING IS DISRUPTED BY A WALL.
- D. LIGHTING FIXTURES AND AIR DIFFUSERS SHALL BE SUPPORTED DIRECTLY BY WIRES TO THE STRUCTURE ABOVE.
- E. CEILING GRID SYSTEM SHALL BE A HEAVY DUTY 7" BAR SYSTEM
- F. CEILING GRID SYSTEM SHALL BE INSTALLED AS PER STANDARD OF THE INDUSTRY GUIDELINES AS PER CODE SECTION 1506.2.1

GENERAL NOTES:

SEISMIC DESIGN REQUIRED FOR CEILINGS, WALLS
MECHANICAL AND ELECTRICAL AS PER 2012 IBC.

NOTE: GENERAL CONTRACTOR TO PROVIDE PROPER SUPPORT AND INSTALLATION OF ALL MECHANICAL DIFFUSERS, SPEAKERS, LIGHTS, AND ALL OTHER CEILING PENETRATION ITEMS.



0' 2' 4' 6' 8'
graphic scale 1/4" = 1'-0"

LIGHTING DEMOLITION PLAN

SCALE: 1/4"=1'-0"

DEMOLITION NOTES

- SEE ARCHITECTURAL DEMOLITION PLANS SHEET A-1 FOR SCOPE OF DEMOLITION WORK.
- DEMOLITION PLAN IS SHOWN FOR CONTRACTORS REFERENCE ONLY. FIELD VERIFY QUANTITIES AND LOCATIONS OF ALL EXISTING MATERIAL AND EQUIPMENT TO BE REMOVED. REMOVE ALL ABANDONED CONDUIT, WIRING, JUNCTION BOXES, OUTLETS, LIGHT FIXTURES, EQUIPMENT, ETC. WHETHER SPECIFICALLY SHOWN OR NOT.
- CONTRACTOR MAY USE EXISTING BRANCH CIRCUIT WIRING AND RACEWAYS WHERE CONVENIENT TO CONNECT TO NEW ELECTRICAL DEVICES ONLY IF THE EXISTING WIRING AND RACEWAYS ARE IN GOOD CONDITION AND MEET DIVISION 16 SPECIFICATION REQUIREMENTS FOR NEW WIRING AND RACEWAYS.
- WHERE REMOVAL OF EXISTING ELECTRICAL EQUIPMENT INTERRUPTS EXISTING BRANCH CIRCUITS OR FEEDERS TO EXISTING EQUIPMENT TO REMAIN, FURNISH AND INSTALL NEW CONDUIT AND WIRING AS REQUIRED TO RECONNECT THE EXISTING EQUIPMENT TO REMAIN.
- ALL MATERIALS AND EQUIPMENT REMOVED SHALL REMAIN THE PROPERTY OF THE OWNER AND SHALL BE TURNED OVER TO THE OWNER FOR STORAGE OR BE DISPOSED OF BY THE CONTRACTOR AS DIRECTED BY THE OWNER.
- TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO THE EXISTING BUILDING. REPAIR ALL DAMAGE INCURRED BY DEMOLITION AND NEW CONSTRUCTION TO EXACTLY MATCH EXISTING SURFACES AND/OR CONDITIONS WITHOUT ADDITIONAL COST TO THE OWNER. COORDINATE REPAIRS WITH THE GENERAL CONTRACTOR.

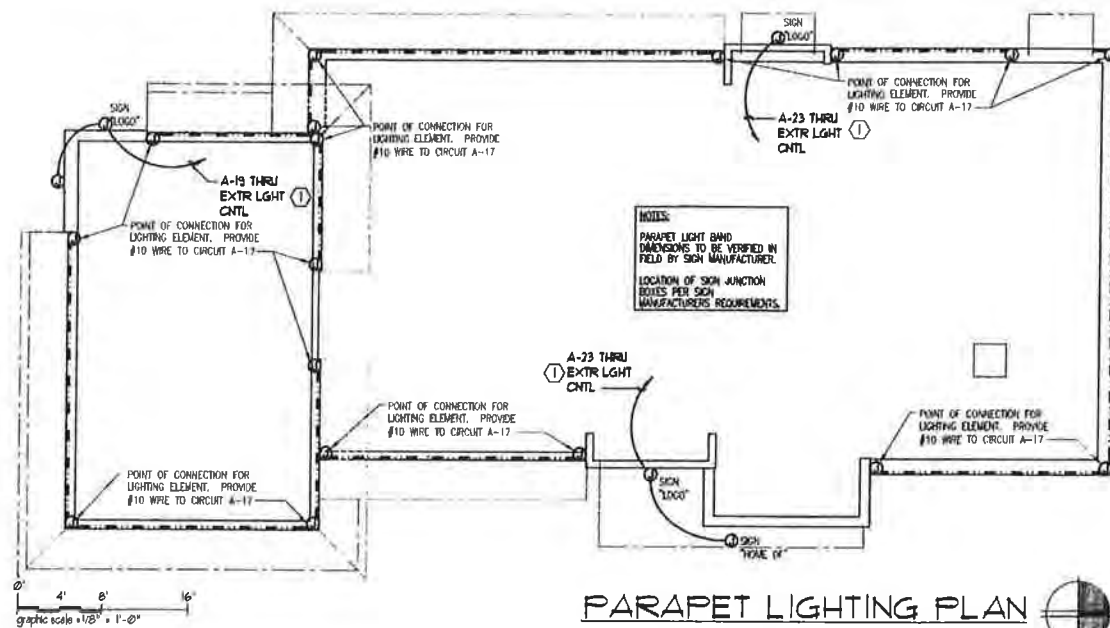
BUILDING REMODEL FOR:
Burger King Corporation

1902 MOUNTAIN VIEW DRIVE, CODY, WYOMING
STORE #118

BRIAN D. RUSSELL
ARCHITECTS, INC.
12312 SOUTH REDWOOD ROAD
RIVERTON, UTAH 84065
(801) 307-0800 (801) 307-0801 FAX

NO.	DATE	DESCRIPTION
1	8/4/14	

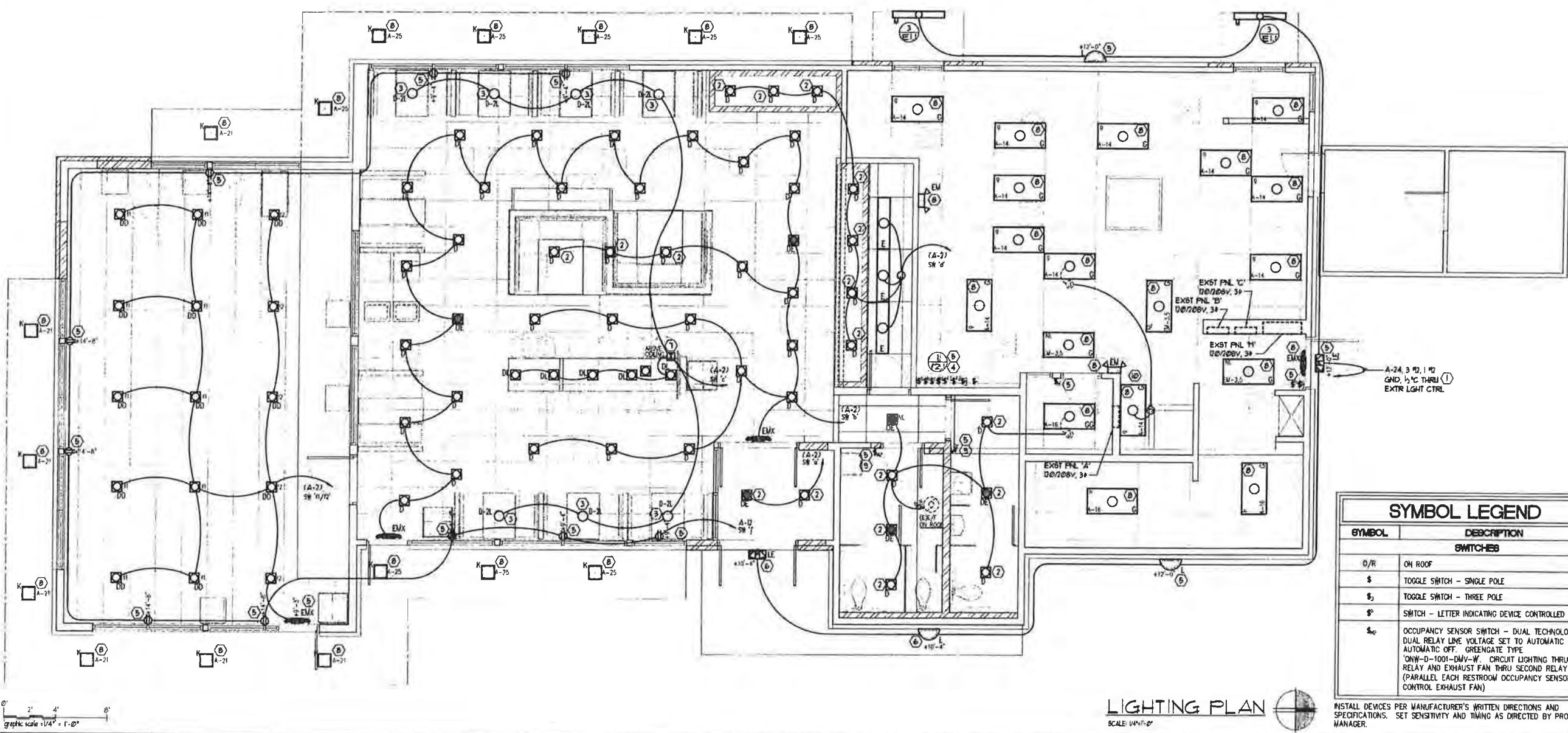
E-1



PARAPET LIGHTING PLAN
SCALE: 1/8" = 1'-0"

- KEYED NOTES:**
1. WIRE EXTERIOR LIGHTING AND SIGNS THRU EXTERIOR LIGHTING CONTROL. FIELD VERIFY EXISTING CONDITIONS AND MODIFY CIRCUITS / SWITCH LEGS AS REQUIRED. COORDINATE WITH PROJECT MANAGER PRIOR TO BEGINNING WORK.
 2. PROVIDE HARDWARE FOR INSTALLATION IN GYPSUM BOARD CEILING.
 3. COORDINATE PENDANT LENGTH WITH PROJECT MANAGER AND CEILING HEIGHT.
 4. SWITCH BANK SEE DETAIL 1 THIS SHEET E21.
 5. INSTALL NEW FIXTURE, SWITCH DEVICE, ETC. IN EXISTING WALL. PATCH AND REPAIR AS REQUIRED TO MATCH SURROUNDING SURFACES. COORDINATE WITH GENERAL FIELD VERIFY REQUIREMENTS.
 6. INSTALL SCOTCH INSIDE OPEN FRAMING OF CANOPY. ELEVATION TO BOTTOM OF CANOPY. COORDINATE WITH CANOPY SUPPLIER/INSTALLER, GENERAL CONTRACTOR AND PROJECT MANAGER.
 7. INSTALL LOW VOLTAGE LOW PROFILE DOWNLIGHT IN DECORATIVE SLAT SOFFIT. INSTALL 'CLASS 2' LOW VOLTAGE WIRING BETWEEN LIGHTS AND TO TRANSFORMER CONCEALED IN RACEWAYS / CHANNELS OF SLAT SOFFIT. INSTALL LOW VOLTAGE 'CLASS 2' TRANSFORMER IN ACCESSIBLE SPACE ABOVE CEILING ACCORDANCE WITH MANUFACTURER'S WRITTEN SPECIFICATIONS / INSTRUCTIONS AND NEC REQUIREMENTS.
 8. REPLACE EXISTING FIXTURE WITH NEW FIXTURE.
 9. INTERLOCK OCCUPANCY SENSOR SWITCHES SUCH THAT LIGHTS STAY ON WHEN ANY ROOM OF RESTROOM IS OCCUPIED. (CIRCUIT SWITCHES IN PARALLEL.)
 10. RE-CIRCUIT LIGHT TO OPERATE IN COMMON WITH KITCHEN LIGHTING. FIELD VERIFY REQUIREMENTS.

- GENERAL NOTES:**
- A. SEE ARCHITECTURAL REFLECTED CEILING PLAN AND DECOR DRAWINGS FOR EXACT LOCATION AND MOUNTING HEIGHTS OF LIGHT FIXTURES. COORDINATE FIXTURE LOCATIONS AND REQUIREMENTS WITH DECOR SUPPLIER.
 - B. ALL WORK AND MATERIALS SHALL BE BY THE ELECTRICAL CONTRACTOR, UNLESS NOTED OTHERWISE.
 - C. MC CABLE ONLY PERMITTED FOR LIGHT WIRING. ALL OTHER TO BE EMT. CONDUIT IN CEILING AND WALLS, RIGID CONDUIT UNDER SLAB.
 - D. PROVIDE JUNCTION BOXES AT LIGHT FIXTURES PER MANUFACTURERS REQUIREMENTS. (TYPICAL ALL LIGHTING FIXTURES)
 - E. WHERE TRUSSES ARE EXPOSED, RUN ALL ELECTRICAL CONDUITS ABOVE THE BOTTOM CHORD OF TRUSS.
 - F. CONNECT EMERGENCY LIGHT FIXTURES / EMERGENCY BALLAST IN LIGHT FIXTURE (E.G. 'DE', 'EM', 'EXM', ETC.) TO THE SAME BRANCH CIRCUIT AS THE GENERAL ROOM LIGHTING. AHEAD OF ANY LOCAL SWITCHES. ALL EXIT, NIGHT LIGHT AND EMERGENCY LIGHT FIXTURES SHALL BE CIRCUITED TO AN UNSWITCHED LEG OF THE NEAREST LOCAL LIGHTING CIRCUIT.
 - G. TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO THE EXISTING BUILDING. REPAIR ALL DAMAGE INCURRED BY DEMOLITION AND NEW CONSTRUCTION TO EXACTLY MATCH EXISTING SURFACES AND/OR CONDITIONS WITHOUT ADDITIONAL COST TO THE OWNER. COORDINATE REPAIRS WITH THE GENERAL CONTRACTOR.
 - H. PROVIDE NEW DEVICES, SWITCHES, ETC. IN EXISTING WALLS. PATCH AND REPAIR WALL AS REQUIRED TO MATCH SURROUNDING SURFACES.
- LIGHTING FIXTURE NOTES:**
1. ALL LIGHTING FIXTURES SHALL BE 120 VOLT UNLESS NOTED OTHERWISE.
 2. CONTRACTOR SHALL CHECK AND VERIFY FIXTURE QUANTITY AND MAKE PROPER ADJUSTMENTS FOR ANY CHANGES IN PLAN SHOWN DUE TO ADDITIONAL REQUIREMENTS SUCH AS SIDE VESTIBULES, LOCAL CODES, ETC.
 3. WHENEVER APPLICABLE THE INCANDESCENT LIGHTING FIXTURES SHALL BE FURNISHED WITH ENERGY EFFICIENT LED EQUIVALENT LAMPS.





COMcheck Software Version 3.9.3 Interior Lighting Compliance Certificate

2008 IECC

Section 1: Project Information

Project Type: Alteration
Project Title: Burger King Remodel #0118

Construction Site:
1502 Mountain View Drive
Cody, WY

Owner/Agent:
Derek Harper
Madden Restaurants
1195 W 3000 S
Ogden, UT 84401
801.896.3615 ext10

Designer/Contractor:
Ray Kolkman
Thomas & Kolkman Engineering
84 West 1700 South
Salt Lake City, UT 84116-1982
801.464.8161

Section 2: Interior Lighting and Power Calculation

A Area Category	B Floor Area (ft ²)	C Allowed Watts / ft ²	D Allowed Watts (B x C)
Drng. Calcular/Fast Food	3400	1.4	4760
Total Allowed Watts = 4760			

Section 3: Interior Lighting Fixture Schedule

A Fixture ID / Description / Lamp / Wattage Per Lamp / Ballast	B Lamp Fixture	C # of Fixtures	D Fixture Watt.	E (B x C x D)
Drng. Calcular/Fast Food (continued)				
LED 1: ODECK: 8" Downlight LED PAR 15W	1	30	14.6	814
LED 2: DO 8" Downlight 20W LED Other Fixture Unit 20W	1	15	37	605
LED 3: E 1x4' Fluorescent LED Linear 35W	1	3	34	102
LED 4: D 2'x4' Fluorescent LED Panel 80W	1	17	87	1489
LED 5: DO 2'x4' Fluorescent LED Panel 80W	1	1	86	86
Compact Fluorescent 1: D-2L 22" Open Pendant Triple 4-pin 19W Electronic	2	7	38	126
Total Proposed Watts = 2724				

Section 4: Requirements Checklist

Lighting Wattage:

- 1 Total proposed watts must be less than or equal to total allowed watts.

Allowed Watts	Proposed Watts	Compliance
4760	2724	Passes

Controls, Switching, and Wiring:

- 2 Daylight zones under skylights more than 15 feet from the perimeter have lighting controls separate from daylight zones adjacent to various fenestrations.
- 3 Daylight zones have individual lighting controls independent from that of the general area lighting.

Exceptions:

- 4 Continuous daylight zones spanning no more than two orientations are allowed to be controlled by a single controlling device.

Project Title: Burger King Remodel #0118
Date Reported: 05/07/14
Reported by: E. Burger King Cody 0118.csk

Report date: 05/07/14
Page 1 of 2

- 5 Daylight zones enclosed by walls or ceiling height partitions and containing two or fewer light fixtures are not required to have a separate switch for general area lighting.
- 6 Independent controls for each space (switch/occupancy sensor).
7. Examples:
a. Areas designated as security or emergency areas that must be continuously illuminated.
b. Lighting in stairways or corridors that are egress routes of the means of egress.
c. Master switch at entry to hotel/motel guest room.
d. Individual dwelling units separately controlled.
e. Medical task lighting or architectural display lighting claimed to be exempt from compliance has a control device independent of the control of the nonexempt lighting.
8. Each space required to have a manual control also allows for reducing the connected lighting load by at least 50 percent by either controlling all luminaires, shut switching of alternate rows of luminaires, alternate luminaires, or alternate lamps, switching the middle lamp luminaires independently of other lamps, or switching each luminaire on each lamp.
9. Examples:
a. Only one luminaire in space.
b. An occupant-sensing device controls the area.
c. The area is a corridor, stairway, restroom, public lobby or sleeping unit.
d. Areas that use less than 0.6 Watts/sq. ft.
10. Automatic lighting shutoff control in buildings larger than 5,000 sq. ft.
11. Examples:
a. Sleeping units, patient care areas, and spaces where automatic shutoff would endanger safety or security.
b. 10 Footcandle/automatic time switch on exterior lights.
12. Examples:
a. Lighting intended for 24 hour use.
b. 11 Tandem wired one-lamp and three-lamp ballasted luminaires (No single-lamp ballasts).
13. Examples:
a. Electronic high-frequency ballasts; Luminaires on emergency circuits or with no available ballast.

Section 5: Compliance Statement

Compliance Statement: The proposed lighting situation project represented in this document is consistent with the building permit, specifications and other calculations submitted with this permit application. The proposed lighting situation project has been designed to meet the 2008 IECC, Chapter 6, requirements in COMcheck Version 3.9.3 and is compliant with the mandatory requirements in the Requirements Checklist.

RAY KOLKMAN - ENGINEER

Name - Title

Signature: *Ray Kolkman*
Date: 05/07/14

Project Title: Burger King Remodel #0118
Date Reported: 05/07/14
Reported by: E. Burger King Cody 0118.csk

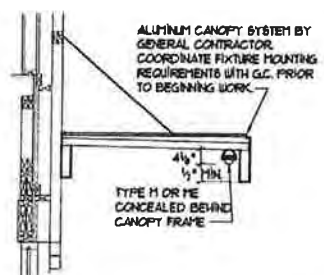
Report date: 05/07/14
Page 2 of 2

LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	MANUFACTURER	CATALOG NO.	LAMP WATTAGE	DESCRIPTION REMARKS
EMX		LSI INDUSTRIES SECURITY RUOD	LPRX-R-U-WH-LD11-R CCR EXDMBRWH	(2) 1.1 LED	LED EXT/ LED EMERGENCY LIGHT
EM		LSI INDUSTRIES SECURITY RUOD	LTEM-WH CUI2 EMP22WH	(2) 1.1 LED	LED EMERGENCY LIGHT
D		JUNO LSI INDUSTRIES SECURITY RUOD	L6-13-30-1-G2/L600P-C-L KR6-13L-35K-120/SSGC-FF	1300 lu 3000 K	6" DIAMETER RECESSED LED DOWNLIGHT
DE		JUNO LSI INDUSTRIES SECURITY RUOD	L6-13-30-1-G2-BR/L600P-C-L KR6-13L-30K-120-EB7/SSGC-FF	1300 lu 3000 K	6" DIAMETER RECESSED LED DOWNLIGHT WITH EMERGENCY 90 MINUTE BATTERY.
DO		JUNO LSI INDUSTRIES SECURITY RUOD	L6-23-30-1-G2/L600H-C-L	2300 lu 3000 K	6" DIAMETER RECESSED LED DOWNLIGHT
DL		JUNO	MD1L-3K-MFL-SH	183 lu 3000 K	2" DIAMETER RECESSED LOW VOLTAGE DOWNLIGHT
D-2L		SECURITY LIGHTING	SECURITY LIGHTING - PENDANT SERIES: W-D-P-00-213-CFL-BS	(2) 13 WATT GU24 BASE CFL	WHITE EXTERIOR/ WHITE INTERIOR DRUM, BRUSHED STEEL RIGID STEM - SIZE 22" DIA X 14" H
E		LSI INDUSTRIES SECURITY RUOD	XRTA-LED-48-400-WH-120-240-FK14 LLT1435WPSA12FE CR14-40L-35K-S	3188 lu 3500 K 3000 K 4000 lu 3500 K	1X4 LED RECESSED FLUORESCENT
G		LSI INDUSTRIES SECURITY RUOD	GA24-LED-WH-WH-UE-P12 LLT2440LWPSA12FE CR24-40L-40K-S	5389 lu 4000 K 4100 K 5000 lu 4000 K	2X4 LED RECESSED FLUORESCENT
GG		LSI INDUSTRIES SECURITY RUOD	GA24-LED-WH-WH-UE-P12	8267 lu 4000 K	2X4 LED RECESSED FLUORESCENT
K (RMDL)		LSI INDUSTRIES SECURITY RUOD	CROSSOVER SERIES XLS2-S-LED-50-CW-120-WHT B51-42LED-FTP-DH-WH CPY250-A-CW-F-A-UL-WH	62 W / 5000 K 42 W / 6100 K 82 W / 5700 K	LED DROP DOWN SOFFIT LIGHT
L		LSI INDUSTRIES SECURITY RUOD	XPW53-FT-LED-48-450-CW-UE-MSV	6200 lu 5300 K	SURFACE MOUNTED EXTERIOR WALL SCONCE NOTE: FIXTURES ARE TO MATCH STOREFRONT FRAMES
(LE)		LSI INDUSTRIES SECURITY RUOD	XPW53-FT-LED-48-450-CW-UE-MSV-CWB	6200 lu 5300 K	SURFACE MOUNTED EXTERIOR WALL SCONCE WITH COLD WEATHER BATTERY BACKUP NOTE: FIXTURES ARE TO MATCH STOREFRONT FRAMES
M		LSI INDUSTRIES SECURITY RUOD	EG3-4-2-LED-WH-CW-UE XEM4-232-RA-EU EG-4-48LED-49-120	6050 lu 5300 K	NET LISTED 4'-0" FLUORESCENT UNDER CANOPY LIGHT ARE TO BE INSTALLED POINTING DOWN. G.C. TO PROVIDE AND INSTALL BRACKETS AS REQUIRED. (LOW TEMP DRIVER)

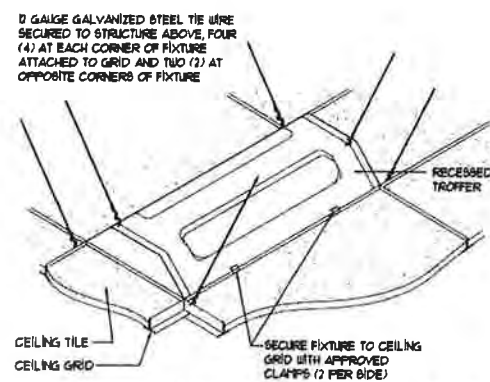
1. SEE REFLECTED CEILING PLAN FOR ACTUAL LUMINAIRE LOCATIONS AND DIMENSIONS.
2. ALL LUMINAIRES WITH "E" DESIGNATION HAVE EMERGENCY BATTERY BALLAST FOR EMERGENCY EGRESS LIGHTING.

3. CONTRACTOR SHALL CHECK AND VERIFY FIXTURE QUANTITY AND MAKE PROPER ADJUSTMENTS FOR ANY CHANGES IN PLAN SHOWN DUE TO ADDITIONAL REQUIREMENTS SUCH AS SIDE VESTIBULES, LOCAL CODES, ETC.
4. LIGHT FIXTURES WILL BE FURNISHED BY THE GENERAL CONTRACTOR. ELECTRICAL SHALL INSTALL LIGHT FIXTURES INCLUDING ALL NECESSARY HARDWARE AND ACCESSORIES.
(1) FIXTURE TYPE NOT PART OF BURGER KING 20/20 PROTOTYPE.



CANOPY LIGHT DETAIL
SCALE: N.T.S.

3

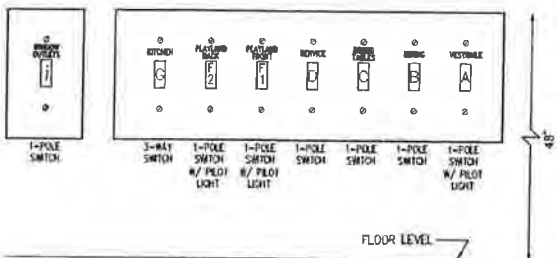


LAY-IN FIXTURE SUPPORT DETAIL
SCALE: N.T.S.

2

LIGHT FIXTURE NOTES

1. ALL LIGHTING FIXTURES SHALL BE POSITIVELY ATTACHED TO THE SUSPENDED CEILING SYSTEM. THE ATTACHMENT DEVICE SHALL HAVE A CAPACITY OF 100% OF THE LIGHTING FIXTURE WEIGHT ACTING IN ANY DIRECTION. 12 GA. HANGERS SHALL BE ATTACHED TO THE GRID MEMBERS WITHIN THREE INCHES OF EACH CORNER OF EACH FIXTURE. TANDUM FIXTURES MAY UTILIZE COMMON WIRES.
2. LIGHTING FIXTURES WEIGHING LESS THAN 56 LBS SHALL HAVE IN ADDITION TO THE REQUIREMENTS OUTLINED ABOVE, TWO NO. 12 GA. HANGERS CONNECTED FROM THE FIXTURE HOUSING TO THE STRUCTURE ABOVE. THESE WIRES MAY BE SLACK.
3. LIGHTING FIXTURES WEIGHING 56 LBS OR MORE SHALL BE SUPPORTED DIRECTLY FROM THE STRUCTURE ABOVE BY APPROVED HANGERS.
4. PENDANT HUNG LIGHTING FIXTURES SHALL BE SUPPORTED DIRECTLY FROM THE STRUCTURE ABOVE USING NO. 8 GA. WIRES OR APPROVED ALTERNATE SUPPORT WITHOUT USING CEILING SUSPENSION SYSTEM FOR DIRECT SUPPORT.
5. ABOVE REQUIREMENTS ARE A MINIMUM. PROVIDE SUPPORTS AS REQUIRED BY AUTHORITY HAVING JURISDICTION (AHJ), COORDINATE WITH AHJ PRIOR TO BEGINNING WORK.



DEVICE (COVER) PLATE NOTES

1. NUMBER OF SWITCHES REQUIRED MAY VARY BASED ON LIGHTING CONFIGURATION - VERIFY REQUIREMENTS.
2. DEVICE PLATES SHALL BE SATIN STAINLESS STEEL SIERRA TYPE 430.
3. ENGRAVE SWITCH PLATE AS SHOWN. ALL ENGRAVING SHALL HAVE BLACK FILLER.
- SWITCH BANK DETAIL
SCALE: N.T.S.

1

BRIAN D. RUSSELL
ARCHITECTS, INC.
12312 SOUTH REDWOOD ROAD
RIVERTON, UTAH 84065
(801) 307-0800 (801) 307-0801 FAX

BUILDING REMODEL FOR:
BURGER KING CORPORATION
STORE #0118
1502 MOUNTAIN VIEW DRIVE, CODY, WYOMING

LUMINAIRE SCHEDULE
LIGHTING ENERGY CALC.
LIGHTING DETAILS

E-2.1

NO.	DATE	DESCRIPTION
1	8/4/14	

SYMBOL LIST

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	NEW FIXTURE, SEE SCHEDULE FOR TYPES		DUPLEX CONVENIENCE OUTLET
	NEW LIGHT BAND		OUTLET WITH GROUND FAULT CIRCUIT INTERRUPTER
	DOWNLIGHT WITH EMERGENCY BATTERY PACK		EXISTING DUPLEX CONVENIENCE OUTLET
	EXISTING CEILING MOUNTED FIXTURE		EXISTING ISOLATED GROUND DUPLEX OUTLET
	EXISTING WALL MOUNTED FIXTURE		SPECIAL PURPOSE OUTLET WITH NEMA DESIGNATION
	EXISTING DOWNLIGHT (RECESSED) FIXTURE		DATA OUTLET
	EXISTING FLUORESCENT FIXTURE		EXISTING POWER PANELBOARD, 120/208 VOLT, 3 PHASE
	EXISTING EXIT LIGHT		HAZARD INDICATING PANEL AND CIRCUIT NUMBERS
	EXISTING EMERGENCY BATTERY UNIT		RACEWAY CONCEALED IN WALLS AND/OR CEILING
	LUMINAIRE SCHEDULE SYMBOL		RACEWAY CONCEALED IN WALLS AND/OR FLOOR
	JUNCTION BOX		EXISTING BRANCH CIRCUIT
	EXISTING JUNCTION BOX		KEYED NOTE SYMBOL
	SINGLE POLE SWITCH		INDICATES ITEM IN WEATHERPROOF (NEMA 3R MINIMUM) ENCLOSURE
	THREE WAY SWITCH		PARTIAL BRANCH CIRCUIT
	SWITCH WITH LETTER INDICATING DEVICE CONTROLLED		NIGHT LIGHT

EXIST. PANEL 'A'									
TYPE 'N' VESTINGHOUSE PNL'									
3 PHL 225 AMP MAIN LUGS									
NO	P	DESCRIPTION	L	T	S	CIRCUIT LOAD	PHASE	CIRCUIT LOAD	DESCRIPTION
1	2	20 EX. AREA LIGHTS	L			900	A	1,534	21 LVS - VEST., DIN., PLAY & SERV.
2	1	20 EX. AREA LIGHTS	L			900	B	1,000	22 EX. SPARE
3	2	20 EX. AREA LIGHTS	L			900	C	1,000	23 EX. SPARE
4	1	20 EX. AREA LIGHTS	L			900	A	1,000	24 EX. SPARE
5	2	20 EX. AREA LIGHTS	L			900	B	1,000	25 EX. SPARE
6	1	20 EX. AREA LIGHTS	L			900	C	1,000	26 EX. SPARE
7	2	20 EX. AREA LIGHTS	L			900	A	1,000	27 EX. SPARE
8	1	20 EX. AREA LIGHTS	L			900	B	1,000	28 EX. SPARE
9	2	20 EX. AREA LIGHTS	L			900	C	1,000	29 EX. SPARE
10	1	20 EX. AREA LIGHTS	L			900	A	1,000	30 EX. SPARE
11	2	20 EX. AREA LIGHTS	L			900	B	1,000	31 EX. SPARE
12	1	20 EX. AREA LIGHTS	L			900	C	1,000	32 EX. SPARE
13	2	20 EX. AREA LIGHTS	L			900	A	1,000	33 EX. SPARE
14	1	20 EX. AREA LIGHTS	L			900	B	1,000	34 EX. SPARE
15	2	20 EX. AREA LIGHTS	L			900	C	1,000	35 EX. SPARE
16	1	20 EX. AREA LIGHTS	L			900	A	1,000	36 EX. SPARE
17	2	20 EX. AREA LIGHTS	L			900	B	1,000	37 EX. SPARE
18	1	20 EX. AREA LIGHTS	L			900	C	1,000	38 EX. SPARE
19	2	20 EX. AREA LIGHTS	L			900	A	1,000	39 EX. SPARE
20	1	20 EX. AREA LIGHTS	L			900	B	1,000	40 EX. SPARE
21	2	20 EX. AREA LIGHTS	L			900	C	1,000	41 EX. SPARE
22	1	20 EX. AREA LIGHTS	L			900	A	1,000	42 EX. SPARE
23	2	20 EX. AREA LIGHTS	L			900	B	1,000	43 EX. SPARE
24	1	20 EX. AREA LIGHTS	L			900	C	1,000	44 EX. SPARE
25	2	20 EX. AREA LIGHTS	L			900	A	1,000	45 EX. SPARE
26	1	20 EX. AREA LIGHTS	L			900	B	1,000	46 EX. SPARE
27	2	20 EX. AREA LIGHTS	L			900	C	1,000	47 EX. SPARE
28	1	20 EX. AREA LIGHTS	L			900	A	1,000	48 EX. SPARE
29	2	20 EX. AREA LIGHTS	L			900	B	1,000	49 EX. SPARE
30	1	20 EX. AREA LIGHTS	L			900	C	1,000	50 EX. SPARE
31	2	20 EX. AREA LIGHTS	L			900	A	1,000	51 EX. SPARE
32	1	20 EX. AREA LIGHTS	L			900	B	1,000	52 EX. SPARE
33	2	20 EX. AREA LIGHTS	L			900	C	1,000	53 EX. SPARE
34	1	20 EX. AREA LIGHTS	L			900	A	1,000	54 EX. SPARE
35	2	20 EX. AREA LIGHTS	L			900	B	1,000	55 EX. SPARE
36	1	20 EX. AREA LIGHTS	L			900	C	1,000	56 EX. SPARE
37	2	20 EX. AREA LIGHTS	L			900	A	1,000	57 EX. SPARE
38	1	20 EX. AREA LIGHTS	L			900	B	1,000	58 EX. SPARE
39	2	20 EX. AREA LIGHTS	L			900	C	1,000	59 EX. SPARE
40	1	20 EX. AREA LIGHTS	L			900	A	1,000	60 EX. SPARE
41	2	20 EX. AREA LIGHTS	L			900	B	1,000	61 EX. SPARE
42	1	20 EX. AREA LIGHTS	L			900	C	1,000	62 EX. SPARE
43	2	20 EX. AREA LIGHTS	L			900	A	1,000	63 EX. SPARE
44	1	20 EX. AREA LIGHTS	L			900	B	1,000	64 EX. SPARE
45	2	20 EX. AREA LIGHTS	L			900	C	1,000	65 EX. SPARE
46	1	20 EX. AREA LIGHTS	L			900	A	1,000	66 EX. SPARE
47	2	20 EX. AREA LIGHTS	L			900	B	1,000	67 EX. SPARE
48	1	20 EX. AREA LIGHTS	L			900	C	1,000	68 EX. SPARE
49	2	20 EX. AREA LIGHTS	L			900	A	1,000	69 EX. SPARE
50	1	20 EX. AREA LIGHTS	L			900	B	1,000	70 EX. SPARE
51	2	20 EX. AREA LIGHTS	L			900	C	1,000	71 EX. SPARE
52	1	20 EX. AREA LIGHTS	L			900	A	1,000	72 EX. SPARE
53	2	20 EX. AREA LIGHTS	L			900	B	1,000	73 EX. SPARE
54	1	20 EX. AREA LIGHTS	L			900	C	1,000	74 EX. SPARE
55	2	20 EX. AREA LIGHTS	L			900	A	1,000	75 EX. SPARE
56	1	20 EX. AREA LIGHTS	L			900	B	1,000	76 EX. SPARE
57	2	20 EX. AREA LIGHTS	L			900	C	1,000	77 EX. SPARE
58	1	20 EX. AREA LIGHTS	L			900	A	1,000	78 EX. SPARE
59	2	20 EX. AREA LIGHTS	L			900	B	1,000	79 EX. SPARE
60	1	20 EX. AREA LIGHTS	L			900	C	1,000	80 EX. SPARE
61	2	20 EX. AREA LIGHTS	L			900	A	1,000	81 EX. SPARE
62	1	20 EX. AREA LIGHTS	L			900	B	1,000	82 EX. SPARE
63	2	20 EX. AREA LIGHTS	L			900	C	1,000	83 EX. SPARE
64	1	20 EX. AREA LIGHTS	L			900	A	1,000	84 EX. SPARE
65	2	20 EX. AREA LIGHTS	L			900	B	1,000	85 EX. SPARE
66	1	20 EX. AREA LIGHTS	L			900	C	1,000	86 EX. SPARE
67	2	20 EX. AREA LIGHTS	L			900	A	1,000	87 EX. SPARE
68	1	20 EX. AREA LIGHTS	L			900	B	1,000	88 EX. SPARE
69	2	20 EX. AREA LIGHTS	L			900	C	1,000	89 EX. SPARE
70	1	20 EX. AREA LIGHTS	L			900	A	1,000	90 EX. SPARE
71	2	20 EX. AREA LIGHTS	L			900	B	1,000	91 EX. SPARE
72	1	20 EX. AREA LIGHTS	L			900	C	1,000	92 EX. SPARE
73	2	20 EX. AREA LIGHTS	L			900	A	1,000	93 EX. SPARE
74	1	20 EX. AREA LIGHTS	L			900	B	1,000	94 EX. SPARE
75	2	20 EX. AREA LIGHTS	L			900	C	1,000	95 EX. SPARE
76	1	20 EX. AREA LIGHTS	L			900	A	1,000	96 EX. SPARE
77	2	20 EX. AREA LIGHTS	L			900	B	1,000	97 EX. SPARE
78	1	20 EX. AREA LIGHTS	L			900	C	1,000	98 EX. SPARE
79	2	20 EX. AREA LIGHTS	L			900	A	1,000	99 EX. SPARE
80	1	20 EX. AREA LIGHTS	L			900	B	1,000	100 EX. SPARE

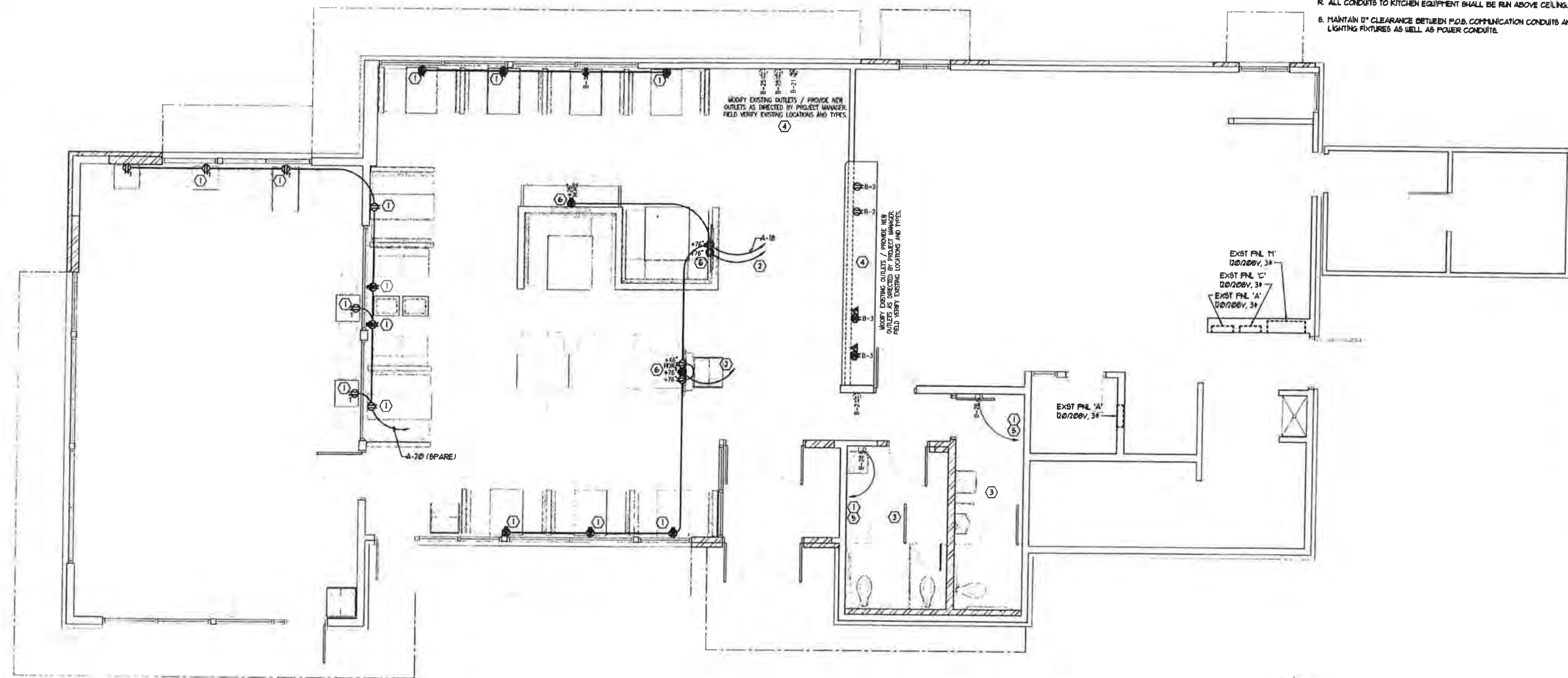
THRU EXISTING EXTERIOR LIGHTING CONTROLS

KEYED NOTES:

- INSTALL NEW OUTLET, SWITCH, JUNCTION BOX, ETC. IN EXISTING WALL. COORDINATE ELEVATION TO MATCH EXISTING. REPAIR WALL AS REQUIRED TO MATCH SURROUNDING SURFACES. COORDINATE REQUIREMENTS WITH GENERAL CONTRACTOR AND PROJECT MANAGER.
- RUN 2" CONDUIT TO MANAGERS OFFICE FOR CABLE TV. FIELD VERIFY REQUIREMENTS AND COORDINATE WITH PROJECT MANAGER.
- EXISTING WALL FINISHES TO BE REPLACED. REMOVE EXISTING ELECTRICAL DEVICES DURING WALL REFINISHING. EXISTING DEVICES ARE SHOWN FOR REFERENCE. FIELD VERIFY QUANTITY AND TYPES. PROVIDE NEW DEVICES AND COVERPLATES OF SAME TYPES (REPLACE DUPLEX OUTLETS WITH DUPLEX GFI OUTLETS). PROVIDE BOX EXTENSIONS AS REQUIRED BY NEW FINISHES. COORDINATE DEVICE AND COVERPLATE COLOR AND TYPES WITH PROJECT MANAGER.
- EXISTING SERVICE COUNTER TO BE REPLACED. REMOVE EXISTING ELECTRICAL DEVICES AND CONNECTIONS DURING COUNTER. EXISTING DEVICES AND CONNECTIONS ARE SHOWN FOR REFERENCE. FIELD VERIFY QUANTITY AND TYPES. PROVIDE NEW DEVICES, COVERPLATES AND CONNECTIONS OF SAME TYPES AND AS MODIFIED ARE DIRECTED BY PROJECT MANAGER. EXTEND BRANCH CIRCUITS TO OUTLETS AND CONNECTIONS AS REQUIRED BY NEW COUNTER. COORDINATE DEVICE AND CONNECTIONS WITH DECOR DRAWINGS AND PROJECT MANAGER.
- PROVIDE BRANCH CIRCUIT TO NEW HAND DRYER. FIELD VERIFY REQUIREMENTS AND COORDINATE WITH PROJECT MANAGER.
- PROVIDE OUTLET IN FURNITURE / DECOR ELEMENT. SEE DECOR DRAWINGS FOR ADDITIONAL INFORMATION. ROUTE BRANCH CIRCUITS AND CABLES CONCEALED IN DECOR PIPING / ELEMENTS TO LOW WALLS. COORDINATE REQUIREMENTS WITH EQUIPMENT SUPPLIER / INSTALLER AND PROJECT MANAGER.

GENERAL NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2011 NATIONAL ELECTRICAL CODE AND OTHER APPLICABLE CODES AND STANDARDS.
- ALL DEVICE BOXES SHALL BE INSTALLED FLUSH AND CONDUITS RUN CONCEALED IN EXCEPT AS SPECIFICALLY SHOWN/NOTED OTHERWISE.
- WIRE SIZE SHALL BE 10 MINIMUM UNLESS OTHERWISE NOTED. WIRE SIZES SMALLER THAN 10 AWG SHALL BE THINWALL. 10 AWG WIRE AND LARGER SHALL BE THINWALL UNLESS NOTED OTHERWISE.
- WIRE (CONDUCTOR) COLORS SHALL BE AS PER APPLICABLE CODES.
- ALL CONDUCTORS SHALL BE COPPER.
- ALL CONDUCTORS SHALL BE RUN IN CONDUIT, EXCEPT LOW VOLTAGE CONTROL AND COMMUNICATION CABLES.
- ALL MATERIALS SHALL BE UL APPROVED.
- ALL BRANCH CIRCUITS, EXCEPT INTERIOR LIGHTING, EXTERIOR BUILDING SIGNS, PARAPET LIGHTING, AND SCOFFIT LIGHTING TO HAVE A GREEN EQUIPMENT GROUNDING CONDUCTOR SIZED AS PER NEC 250.122.
- PVC (SCHD 40) PERMITTED BELOW SLAB AND BELOW GRADE ONLY.
- IT IS INTENDED THAT AN EQUIPMENT GROUND CONDUCTOR (GREEN) SHALL BE RUN IN ALL POWER CIRCUIT CONDUITS (PVC OR NOT).
- ALL EMPTY CONDUITS TO BE PROVIDED WITH NYLON PULL STRING.
- NEW TYPEWRITTEN PANEL DIRECTORY SHALL BE FURNISHED AFTER JOB IS COMPLETED REFLECTING ALL AS BUILT CONDITIONS.
- ALL BRANCH CIRCUITS SHALL BE PROPERLY PHASE BALANCED.
- ALL DATA EQUIPMENT TO BE FED BY A DEDICATED CIRCUIT OF A POWER CIRCUIT THAT FEEDS THIS TYPE OF EQUIPMENT ONLY WITH A SEPARATE GREEN GROUNDING CONDUCTOR CARRIED ALL THE WAY BACK TO THE PANEL TO BE CONNECTED TO THE GROUNDING SYSTEM.
- CONTRACTOR SHALL COORDINATE WITH DECOR THEME (VERIFY).
- CONTRACTOR SHALL INSTALL AND CONNECT WIRING TO ALL SIGNS.
- CONTRACTOR TO COORDINATE ROUGHING-IN TO ALL EQUIPMENT WITH EQUIPMENT SUPPLIER PRIOR TO INSTALLING CONDUITS.
- ALL CONDUITS TO KITCHEN EQUIPMENT SHALL BE RUN ABOVE CEILING.
- MAINTAIN 12" CLEARANCE BETWEEN P.O.B. COMMUNICATION CONDUITS AND LIGHTING FIXTURES AS WELL AS POWER CONDUITS.



EQUIPMENT PLAN
SCALE: 1/4" = 1'-0"

BRIAN D. RUSSELL
ARCHITECTS, INC.
12312 SOUTH REDWOOD ROAD
RIVERTON, UTAH 84065
(801) 307-0800 (801) 307-0801 FAX

BURGER KING
CORPORATION
1902 MOUNTAIN VIEW DRIVE, CODY WYOMING

EQUIPMENT PLAN
PANEL SCHEDULES
SYMBOL LIST

E-3

THIS DOCUMENT IS THE PROPERTY OF BURGER KING CORPORATION. IT IS TO BE USED FOR THE PROJECT AND NOT FOR ANY OTHER PURPOSE. IT IS TO BE KEPT IN THE PROJECT FILE AND NOT FORWARDED TO ANY OTHER PARTY. IT IS TO BE DESTROYED WHEN THE PROJECT IS COMPLETED. IT IS TO BE KEPT IN THE PROJECT FILE AND NOT FORWARDED TO ANY OTHER PARTY. IT IS TO BE DESTROYED WHEN THE PROJECT IS COMPLETED.